

WOLCOTT WOODS

Wolcott / Carberry Estate Canton Ave

Milton, Massachusetts

– Milton Historical Commission – February 13, 2019 –



NORTHLAND
— RESIDENTIAL —

Corcoran & Associates, PC • Epsilon Associates, Inc • Grazado Velleco Architects • Merrill Engineers and Land Surveyors, Inc.
Ryan Associates Landscape Architects and Planners • Tree Specialist, Inc. • Vanasse & Associates, Inc

WOLCOTT WOODS

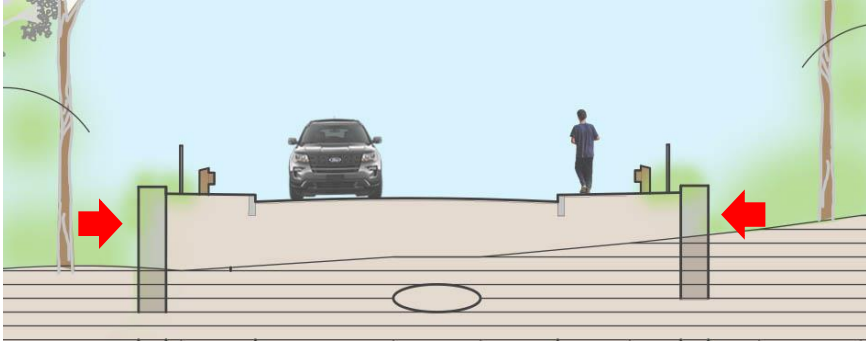
Milton Historical Commission Comment Letter, January 2019

- Stone Walls
- New Stone Entrance
- Fencing
- Scenic Roadways
- Landscape
- Lamp Posts
- Retention Basins
- Signage
- Architecture
 - Manor House
 - Wolcott House
 - New Townhouses
 - Carriage House
 - Peer Reviews and Easements



Site Details –

Intermittent Stream Crossings (2)



1. Curb: VGC
2. Walls: Pre-cast blocks with chiseled granite finish
3. Guardrail: 6x10 PT
4. Fence: Board Rail + Wire

**STONE
STRONG**
SYSTEMS®



Board Fence



Guardrail



Weathered



Landscape – Details

- Manor House Cluster
- **Typical Units**
- Wolcott House
- Site Sections

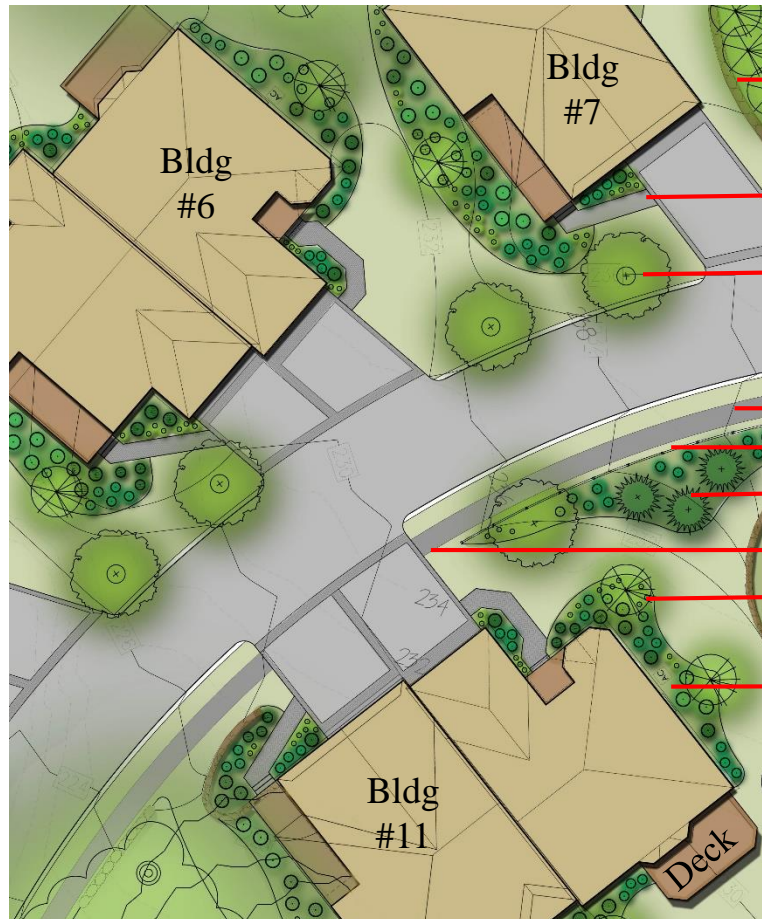
Typical
Details



Landscape Walls



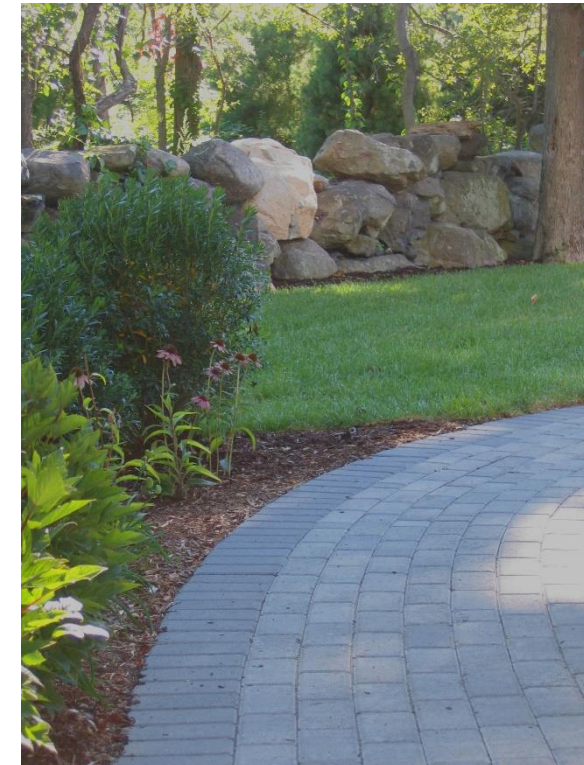
Driveways: Paver Border



- Landscape Walls
- Paver Walks
- Street Trees
- Sidewalk
- Rail Fence
- Evergreen Tree
- Paver Border
- Ornamental Tree
- Foundation Planting



Rail Fence



Paver Walks

Site Details – Landscape Walls

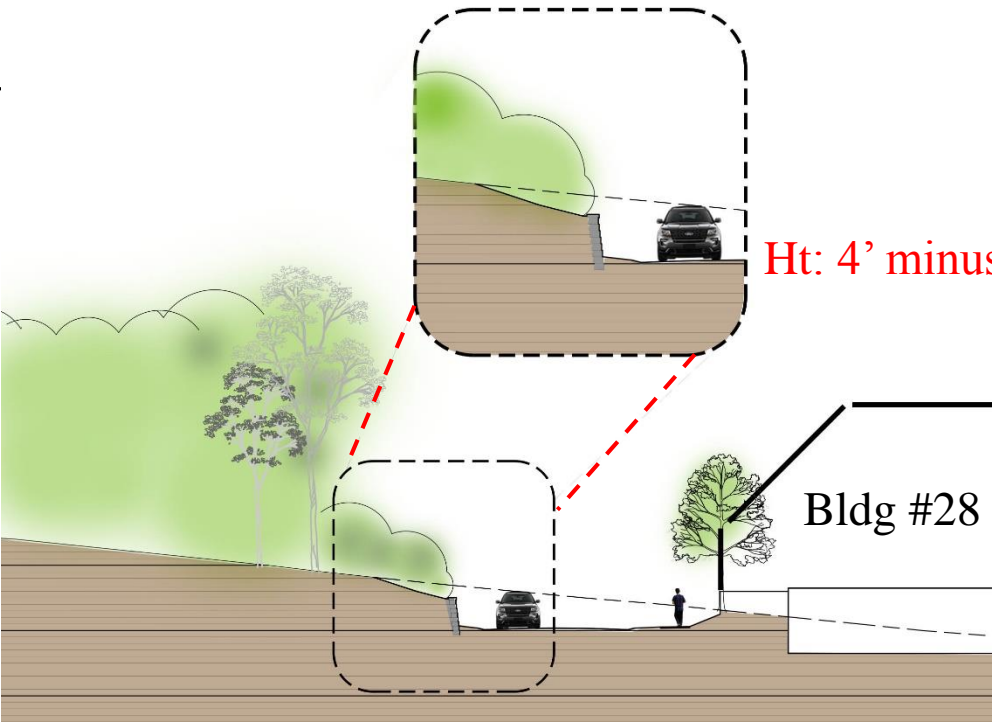
Planting



Northland Residential, Villages at Brookside



Four-Unit, Mosaic Wall System
by Versa-Lok, Weathered



Landscape – Details

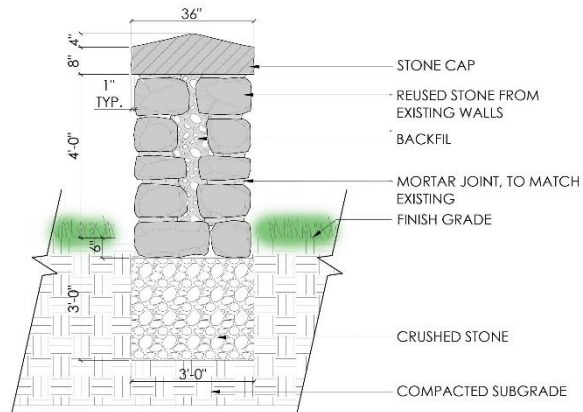
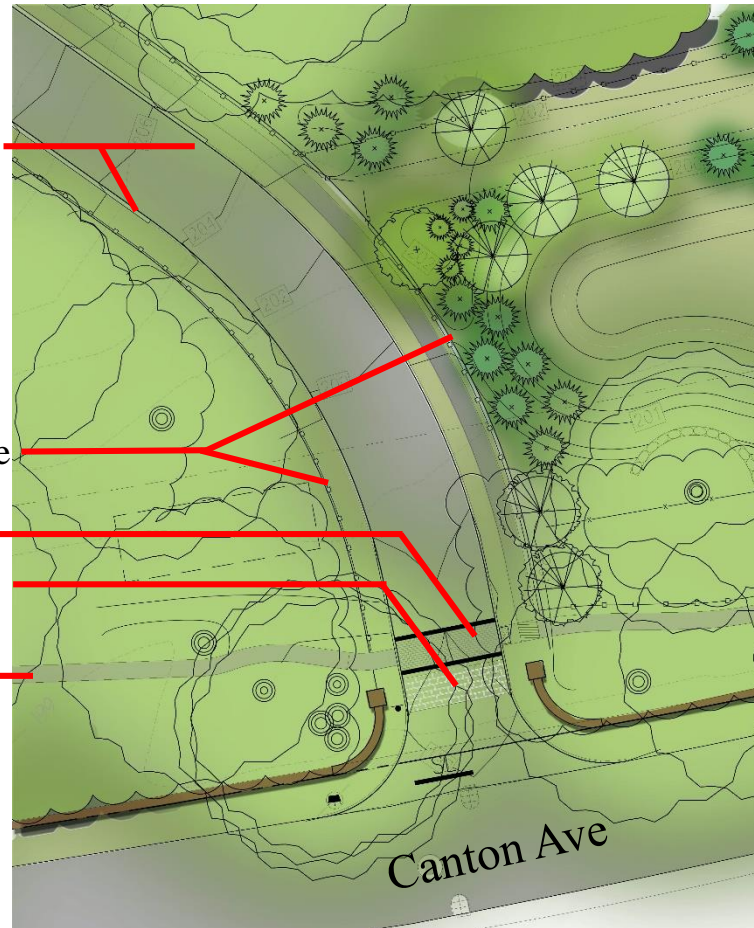
- Old Entrance
- **New Entrance**
- Infiltration Area
- Devens Cluster
- Devens Field

VGC

Split Rail Fence

Crosswalk
Granite Cobble

Walking Path

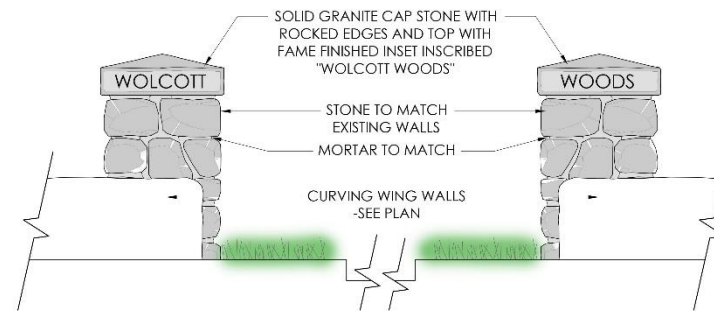


- NOTES:
1. PLACE BOTTOM COURSE OF STONES BELOW GRADE ON 2" MORTAR SETTING BED
 2. CONTRACTOR SHALL REUSE DISTURBED STONE FROM EXISTING WALL; AND, IF SHORTFALL, TO SUPPLY STONES FROM OFF-SITE SOURCES TO MATCH EXISTING AS NEEDED

6 TYPICAL PIER SECTION

L-3.1 SCALE: 1/2" = 1'-0"

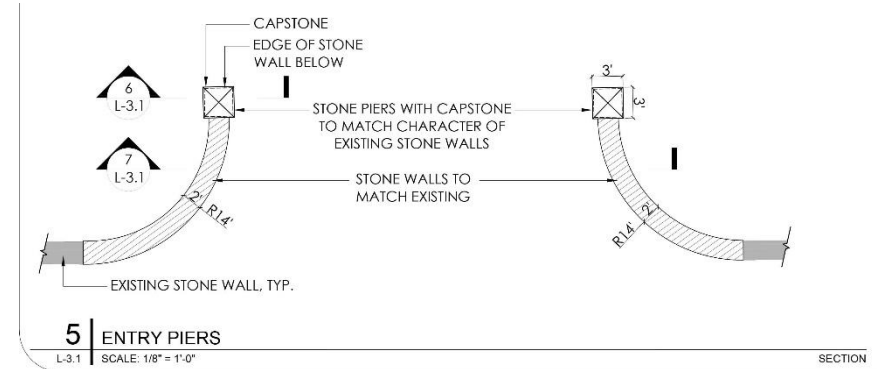
SECTION



7 PIER ELEVATIONS

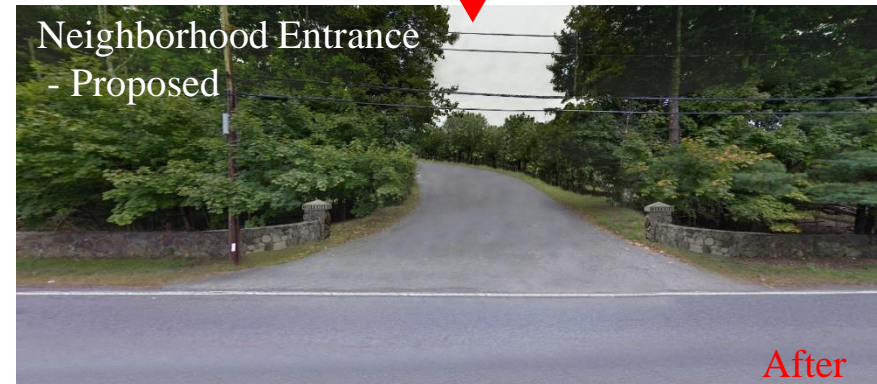
L-3.1 SCALE: 1/2" = 1'-0"

SECTION



PROPOSED NEIGHBORHOOD ENTRANCE LOCATION | EXISTING CONDITIONS

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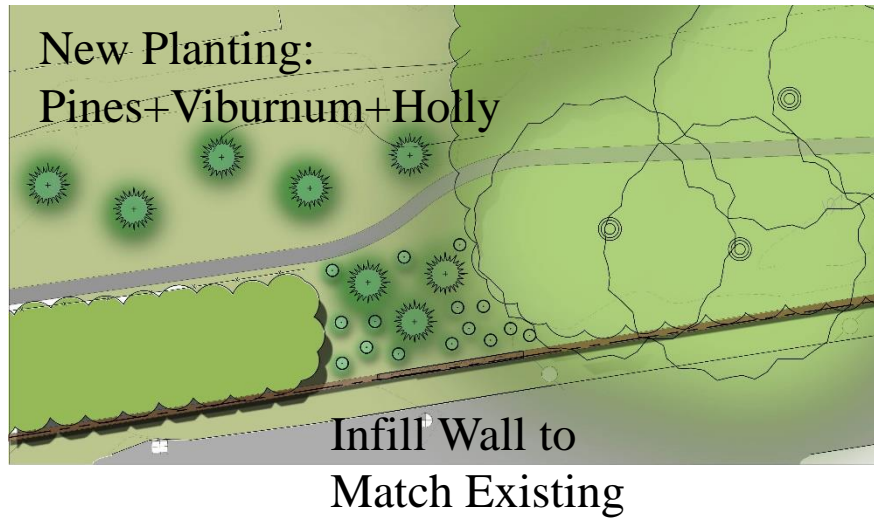


NEIGHBORHOOD ENTRANCE STUDY | PROPOSED CONDITIONS

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DESIGNED BY WOLCOTT WOODS
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Landscape – Details

- Old Entrance
- New Entrance
- Infiltration Area
- Devens Cluster
- Devens Field



KC Farm Driveway - Existing



KC FARM DRIVEWAY | EXISTING CONDITIONS

WOLCOTT ESTATE, NORTHLAND RESIDENTIAL
DRAFT FOR REVIEW, CONFIDENTIAL
03/09/17

KC Farm Driveway - Proposed



KC FARM DRIVEWAY BUFFER RESTORATION | PROPOSED CONDITIONS

WOLCOTT ESTATE, NORTHLAND RESIDENTIAL
DRAFT FOR REVIEW, CONFIDENTIAL
03/09/17

Site Planning – Updates: Rail Fence



- Devens Field

- Proposed: Split Rail along roadway through Devens Field from entry to Mail Station

- Proposed: Diamond Rail along sidewalks in front of homes

Site Planning – Updates: Meadow Basin Fence



- Proposed: Split Rail + Black Chain Link



- Devens Field



- (Northland, Burlington, MA)

Landscape – Details

- Old Entrance
- New Entrance
- Infiltration Area
 - Fence
- Devens Cluster
- Devens Field



- Proposed: Split Rail +
Black Chain Link



Site Planning—Tree Preservation

Wolcott Woods –
Northland Residential –
– February 14, 2019 –

3



Site Planning – Updates: Site Lighting

Site Lighting:

- Existing Street Light on Canton Avenue at Entrance
- New Street Lights at Decision Points and for Safety – 11 Total (30" fixture on 10' pole)
- Houselights on common control to illuminate house numbers
- Low Level Guard Rail Mounted Lights at Crossings



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- January 3, 2019 –

Site Planning – Updates: Site Lighting

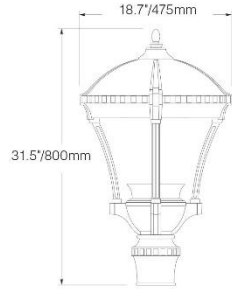
Providence® MicroCore™ – Medium Housing PROV

TYPE

FEATURES

- DLC Qualified
- Reliable, uniform, glare free illumination
- Types II, III, IV, V and custom distributions
- 3000K, 4200K, 5100K CCT
- 0-10V dimming ready
- Integral surge suppression
- LifeShield™ thermal protection
- 13 standard powder coat finishes

SPECIFICATIONS



- Diameter: 18.7" / 475 mm
- Height: 31.5" / 800 mm
- Weight: 29 lbs
- EPA: 0.96
- IP Rating: 65



ORDERING INFORMATION

MODEL	1	2	3	4	5	6	7
PROV							
	Light Engine	CCT	Drive Current	Color	Options	Controls	Mounting

1. LIGHT ENGINE

MicroCore™ Precision aimed optics

- ☐ T2-32LED
- ☐ T3-32LED
- ☐ T4-32LED
- ☐ T5-32LED
- ☐ TL-32LED
- ☐ TR-32LED

2. COLOR TEMPERATURE

- ☐ 3K
- ☐ 4K
- ☐ 5K

3. DRIVE CURRENT

- ☐ 700
- ☐ 450

4. COLOR

- ☐ CRT
- ☐ BLK
- ☐ MTB
- ☐ DGN
- ☐ DBZ
- ☐ WRZ
- ☐ BRM
- ☐ VBL
- ☐ MAL
- ☐ MDG
- ☐ ATG
- ☐ LGY
- ☐ RAL/PREMIUM COLOR
- ☐ CUSTOM COLOR

5. OPTIONS

- ☐ SPK (Decorative spike)
- ☐ BPS (Struts painted brass)
- ☐ LDL (Lightly diffused lens)
- ☐ CLR (Clear flat lens)
- ☐ HSS (House side shield)
- ☐ PFN (Final painted brass)
- ☐ EPA-C (Egress-Contemporary)
- ☐ EPA-T (Egress-Traditional)

6. CONTROL

- ☐ WIH (Integral HBA w/ iHUBB IFM transceiver and antenna)
- ☐ SCP (Programmable motion control, factory default is 50%, requires pole)
- ☐ PCA-C (Rotatable photocell-Contemporary)
- ☐ PCA-T (Rotatable photocell-Traditional)

7. MOUNTING

Standard configuration slips over a 4" DIA open top pole or may choose one.

Wall Mount Arm

- ☐ WMA7
- ☐ WMA55
- ☐ WMA56
- ☐ WMA57
- ☐ WMA9U
- ☐ WMA22U

Pole Mount Arm

- ☐ TRA5U-4
- ☐ TRA6U-4
- ☐ TRA55
- ☐ TRA55-5
- ☐ TRA56
- ☐ TRA57-4
- ☐ TRA57-5
- ☐ SLA1
- ☐ SLA1-2
- ☐ SLA8U-4
- ☐ SLA8U-5
- ☐ SLA22U-4
- ☐ SLA22U-5

Pier Mount

- ☐ PM1
- ☐ PM2
- ☐ PM3

Option

- ☐ AD5

PROVIDENCE®

WITH MICROCORE™ LED TECHNOLOGY

Customizable

Unique modular design allows for complete customization

MicroCore™ LED Technology

Powerful, uniform illumination with low glare

Canted MicroCore™ Design

Precisely aims each diode for maximum reach and uniformity

Upgradeable

Upgrade MicroCore deck as technology advances or retrofit existing HID/MicroEmitter deck installations

LifeShield™ Protection System

Preserves diode life in extreme ambient conditions

Dimming Control

0 - 10v dimming

Color Temperatures

3000K, 4000K, 5000K

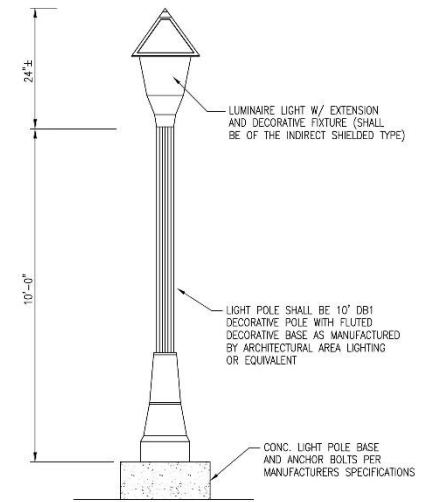
DLC Pending

PROVIDENCE®

WITH MICROCORE™ LED TECHNOLOGY



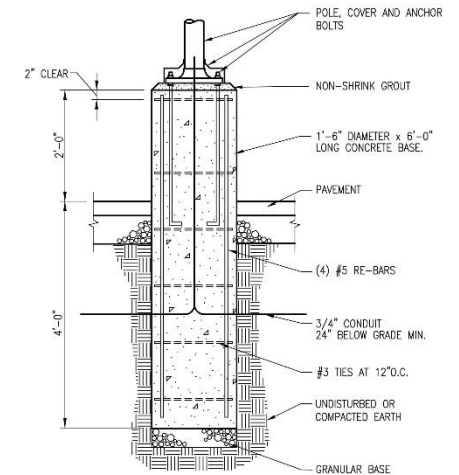
Typ Detail: C10.1



NOTE: ALL LIGHT SHALL BE REFLECTED DOWN TO PREVENT LIGHT POLLUTION AND SHALL BE DARK SKY COMPLIANT.

TYPICAL LIGHT POST DETAIL

(NOT TO SCALE)



NOTES:
LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

LIGHT POLE FOUNDATION DETAIL

(NOT TO SCALE)

Site Planning – Updates: Meadow Basin



UPDATES:

- Softened Layout/Grading,
- Improved Performance Specs,
- Additional Tree Protection and Planting,
- Reduced Buffer Impacts.

Landscape – Street Tree Layout

Street Trees:

Proposed Road:

3,800' = 152 +/- Trees Req'd

Street Trees Proposed:

Shade Trees:	59
Evergreens:	59
Ornamental:	17
Understory:	16
Shared Driveways:	20
Total:	171

Conditions Affecting Planting/Spacing:

- Existing Trees
- Meadow



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- February 14, 2019 –

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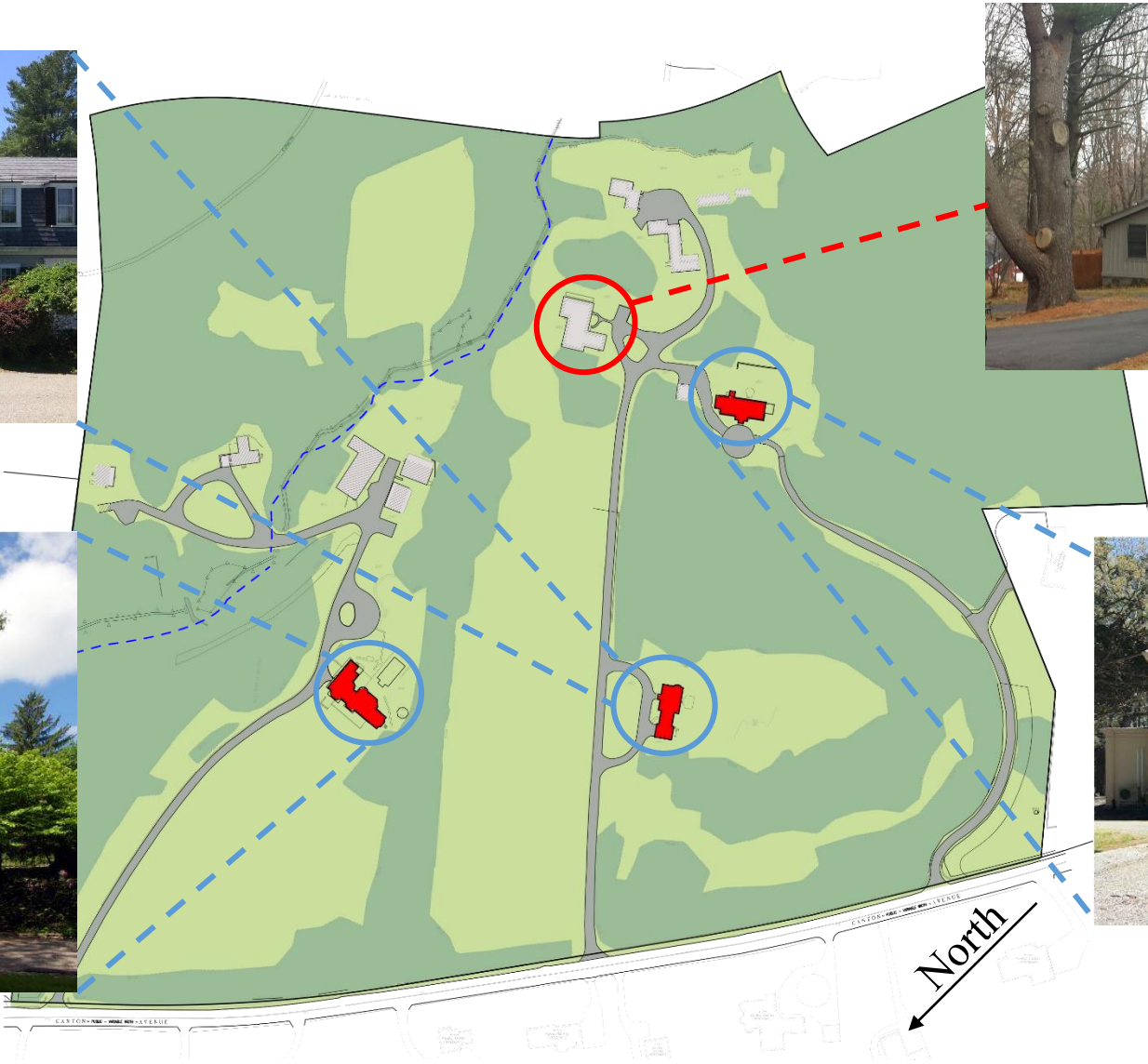
Site Planning – Buildings to Retain – Issue: Carriage House



Devens House



Manor House



Carriage House



Wolcott House

The Carriage Building

Milton Historical Commission Recommendation (9/28/18):

The Carriage House: (variously described as '1672 old style (carriage house)') should be retained and reused either as a single family dwelling or as part of a duplex unit. This reuse would be consistent with a 'Great Estate' presentation as large agrarian estates would have many outbuildings as part of the enterprise. The overall appearance of the existing exterior architectural features should be preserved and retained."



The Carriage Building: Circa 1875, Apartment Conversion, circa 1990



Front



Rear



Side

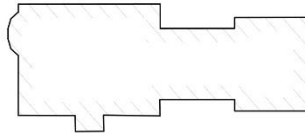


Rear

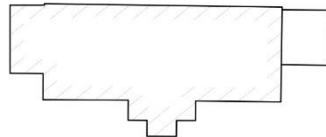
BUILDING COMPARISONS — Size would suggest a duplex conversion



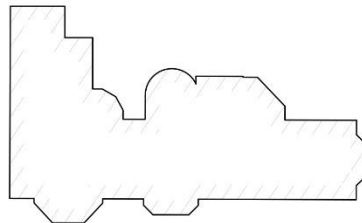
BUILDING FOOTPRINTS



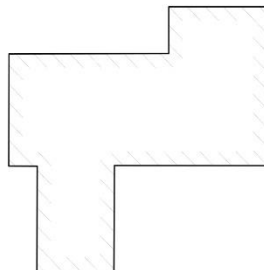
Devens
2,200sqft



Wolcott
2,400sqft



Manor
3,700sqft



Stables
3,500sqft



Front Exterior



Rear Exterior

Site Planning – Issue – Carriage House

Site Plan Impacts:

- 4 Units Affected
- Limited options for preserving surrounding context.

Building Impacts:

- Duplex Conversion most likely due to building size, site grading and utilities (- - - -).
- Building additions/modifications required.



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– January 24, 2019 –

Site Planning – Issue – Carriage House

Site Plan Options:

- Duplex Conversion of the Carriage House, requiring building additions/modifications.
- Creating a ‘Farm Cluster’ using the “A” Type Unit.
- Creating a ‘Farm Cluster’ without retaining the Carriage House using the “A” type unit.



Site Planning – Issue – Carriage House

Site Plan Options: Farm Cluster



- Proposed



- A 'Farm Cluster' using the "A" Type Unit
- Crowds the Carriage House

Site Planning – Issue – Carriage House

Site Plan Options: Carriage House Duplex Conversion



- Proposed



- Duplex Conversion
- Building additions/modifications required.

Site Planning – Issue – Carriage House

Site Plan Options: Carriage House Cluster w/o the Carriage House



- Proposed



- ‘Farm Cluster’ without retaining the Carriage House

Development Team Response – Summary –

Calls for retaining the Carriage House ignore:

- The planning process and cooperative agreements to date.
- The effort to protect/retain a whole range of site features: view corridors, existing topography, historic lawns, meadows, open fields, woodlands, groves of trees, the intermittent stream, the esker, etc.
- The additional site constraints and impacts that would be imposed should the building be retained.
- The significant architectural impacts to the building that conversion would entail.
- The efforts to relate the new construction to the retained buildings by incorporating “*out-building*” qualities. These efforts address the Commission’s fitting desire that the “*Great Estate’ presentation*” be maintained as part of the preservation effort.



Front Exterior



Rear Exterior