



WOLCOTT WOODS

CANTON AVENUE MILTON, MASSACHUSETTS

ARCHITECTURAL DESIGN SET

OWNER: WOLCOTT WOODS LLC 80 BEHARELL ST SUITE E CONCORD, MA
 ARCHITECT: GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
 LANDSCAPE ARCHITECT: RYAN ASSOCIATES, 144 MOODY STREET BLDG 4 WALTHAM, MA
 CIVIL ENGINEER/ SURVEYOR: MERRILL ENGINEERS 427 COLUMBIA ROAD HANOVER, MA

LIST OF ARCHITECTURAL DRAWINGS

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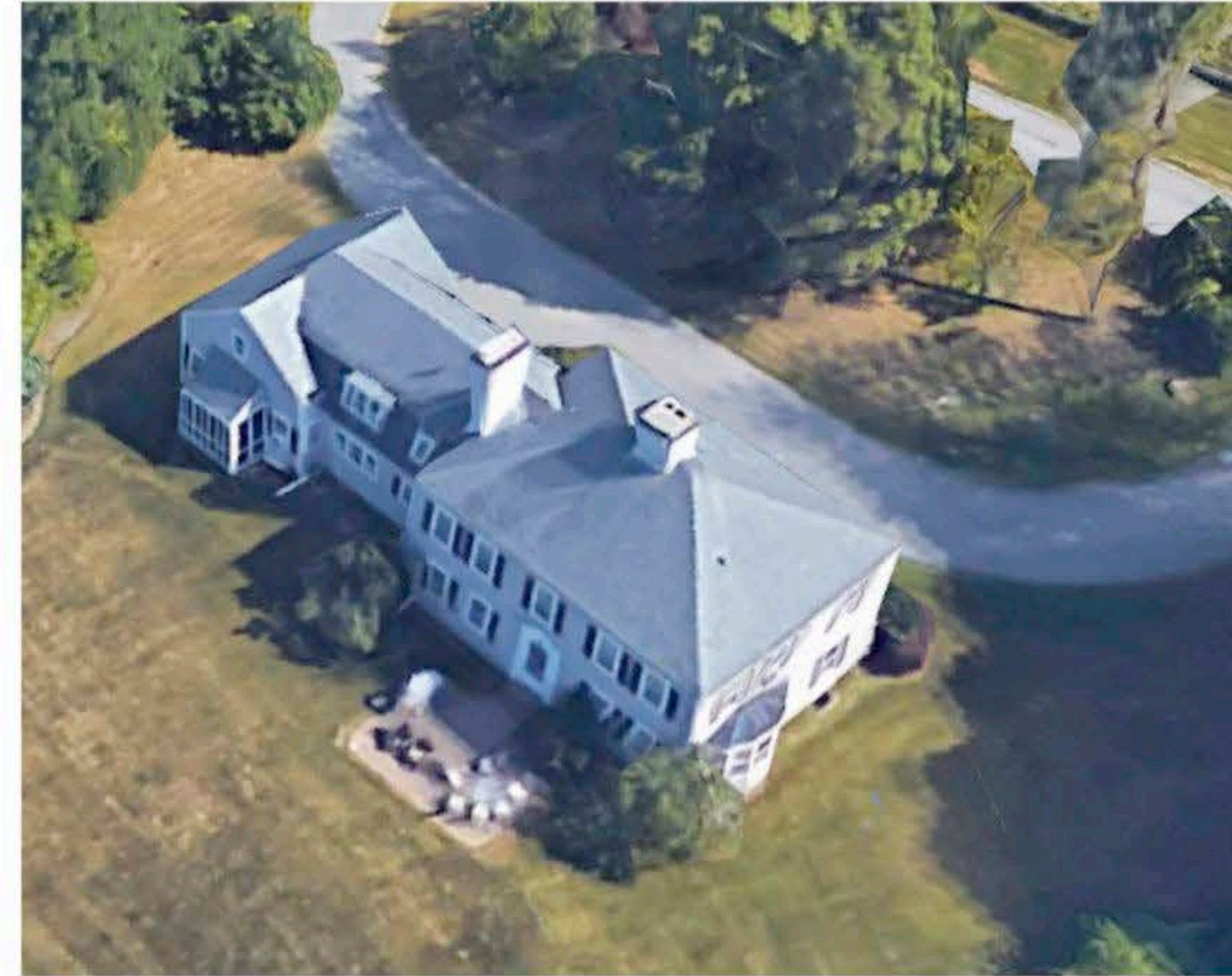
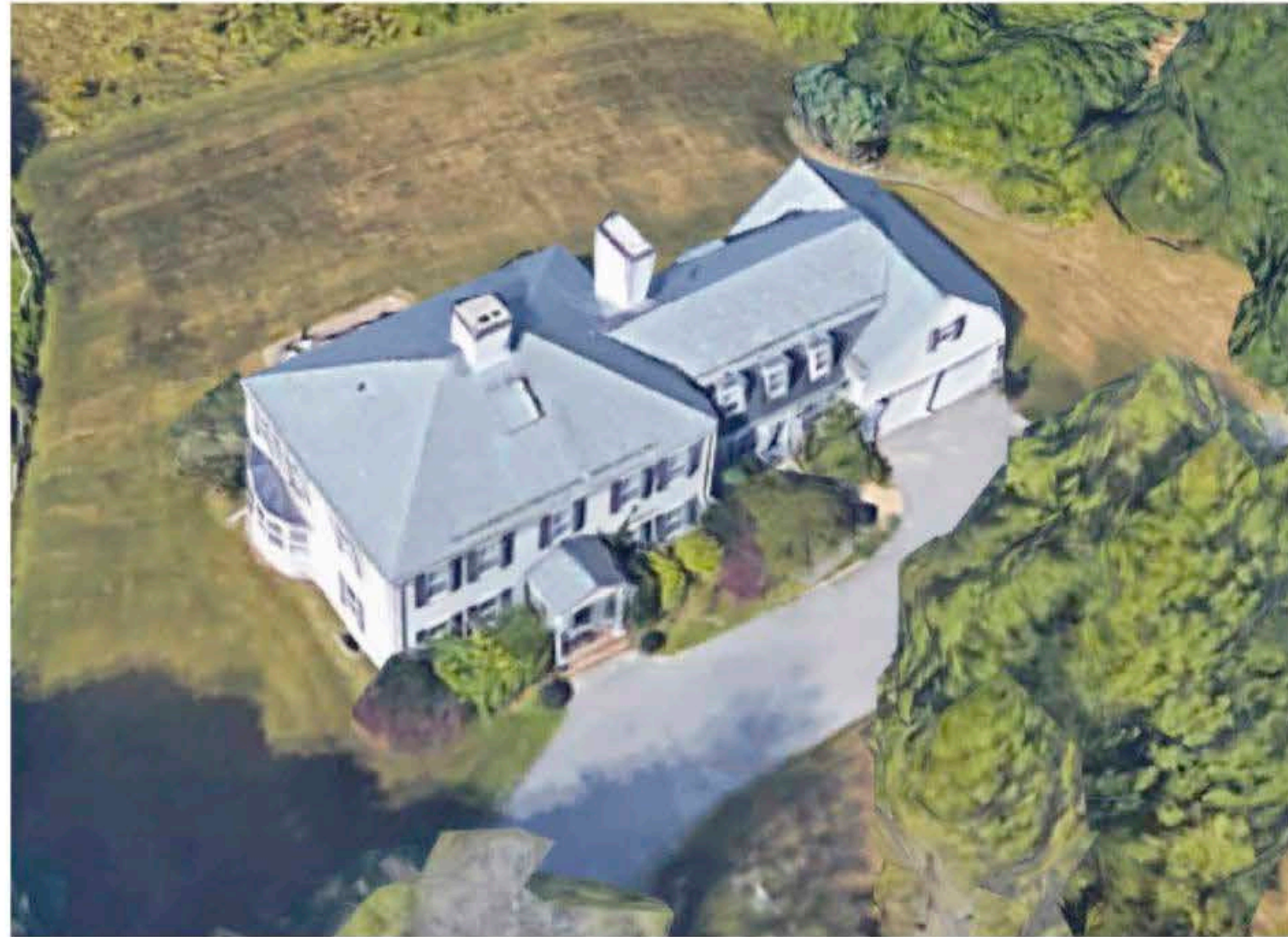
Cover Sheet

DATE: 1.24.19



DEVENS HOUSE

1702 CANTON AVENUE MILTON, MA
EXISTING PHOTOGRAPHS



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MILTON, MA

Photos of
Devens House
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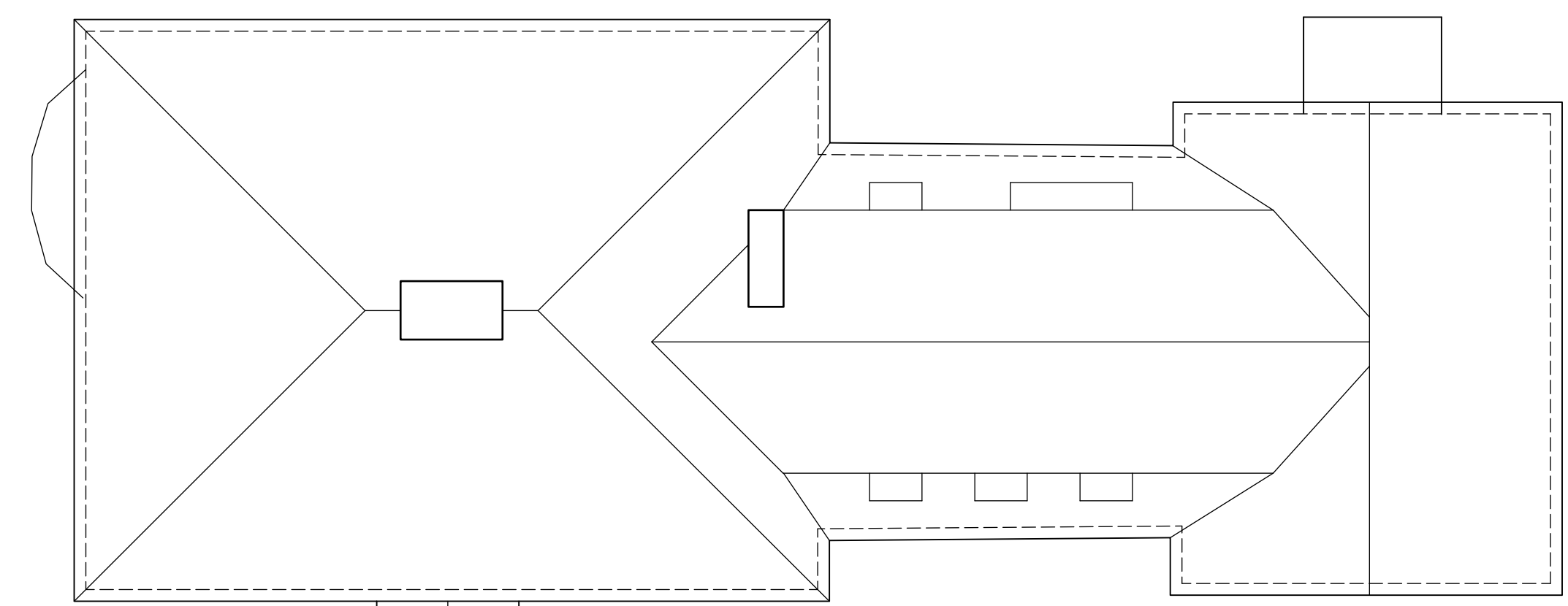
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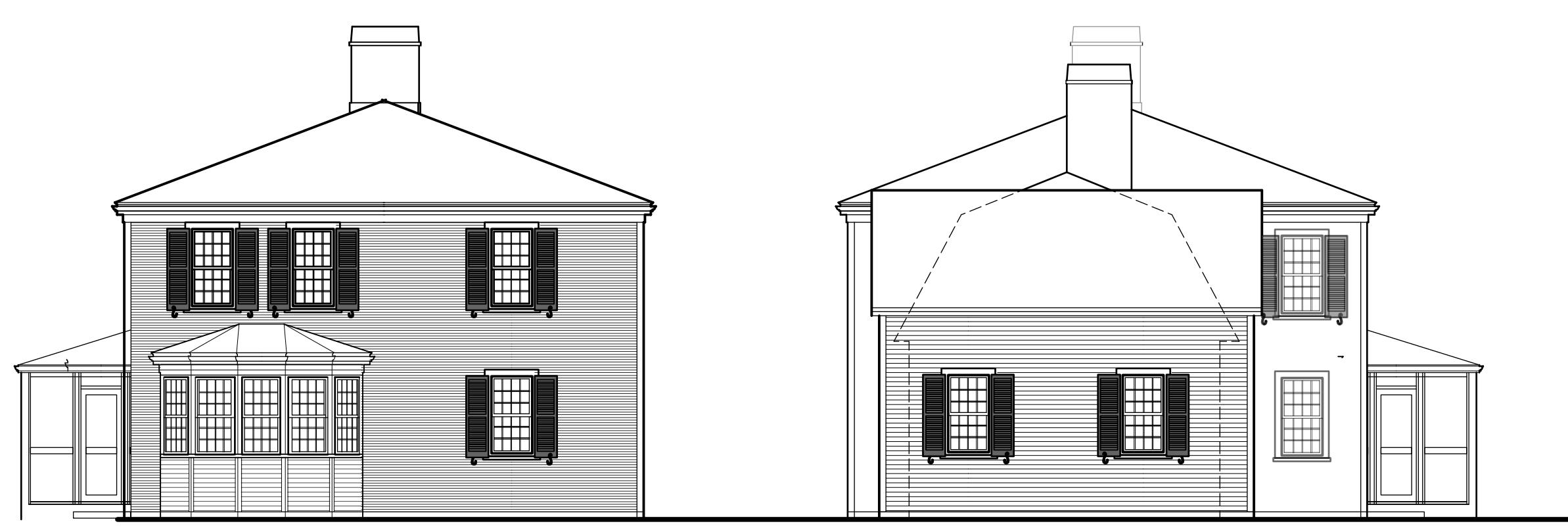
WOLCOTT WOODS
CANTON AVENUE
MILTON, MA

Proposed Plans and Elevations
DEVENS HOUSE
1702 Canton Ave Milton, MA
SCALE: 1/8"=1'-0"
DATE: 1.24.19

3
H2
HISTORIC HOUSE

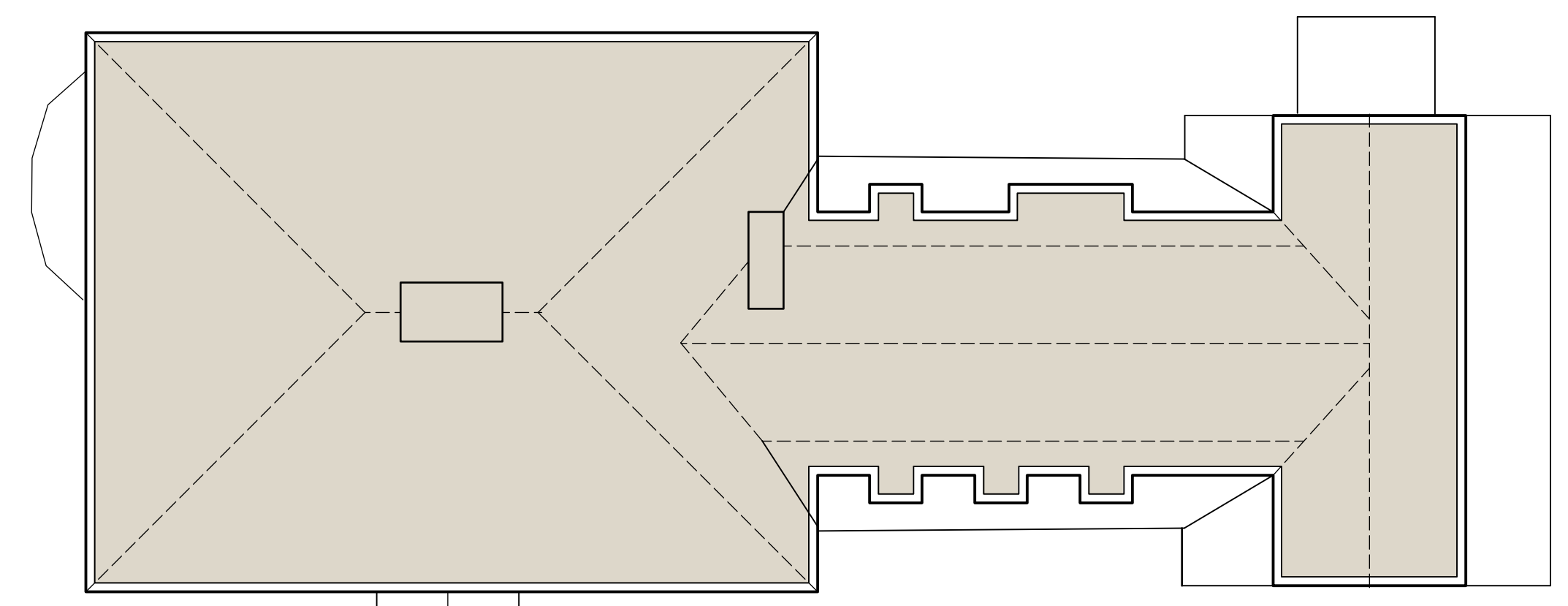


ROOF PLAN



Left Elevation
no proposed modifications

Right Elevation
no proposed modifications



SECOND FLOOR
1900 SF



Rear Elevation
propose new patio door

NEW 8' PATIO DOOR



FIRST FLOOR
1840 SF



Front Elevation
no proposed form modifications

Outline of Renovation

- Roofing will be replaced with 25 year 3-tab asphalt roof shingles
- Clapboards to be replaced with Hardie-Plank fiber cement clapboards. Color to match existing
- Cornerboards, standing and running trim to be replaced with cpvc boards to match size and profile of existing
- Windows will be replaced with Jel-Wen clad insulated windows of the same size and mullion pattern as existing windows
- Entry doors will be replaced with insulated composite doors by Jel-Wen



DEVENS CLUSTER
SKETCH FROM DRIVEWAY



DEVENS CLUSTER
ILLUTRATIVE SITE PLAN

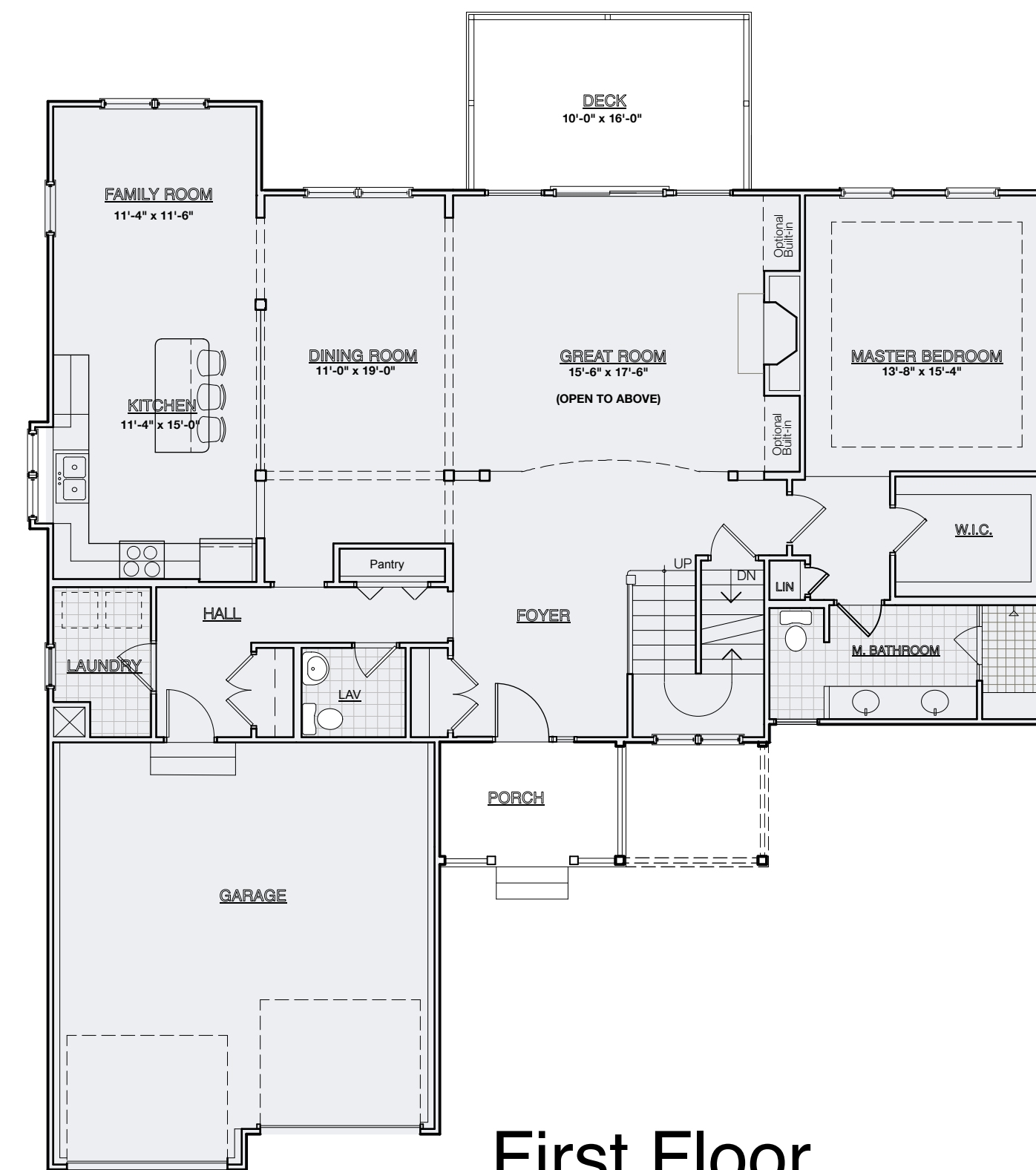
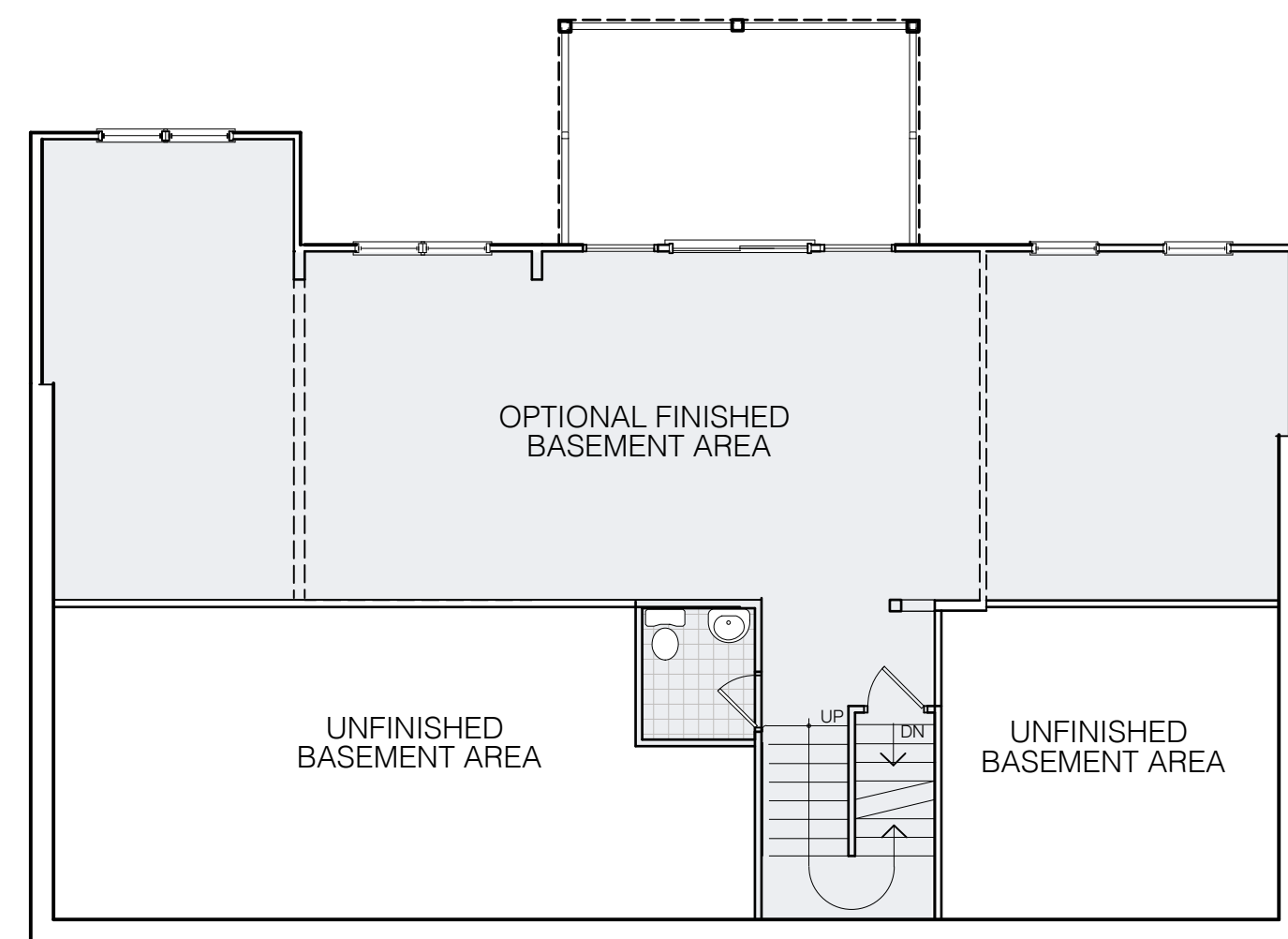
DEVENS CLUSTER DESIGN GOAL

The concept is to create a grouping of 2 low-profile new single family homes that, together with the existing historic house, form a coherent cluster substantially hidden from view and constructed of similar materials, details and color.

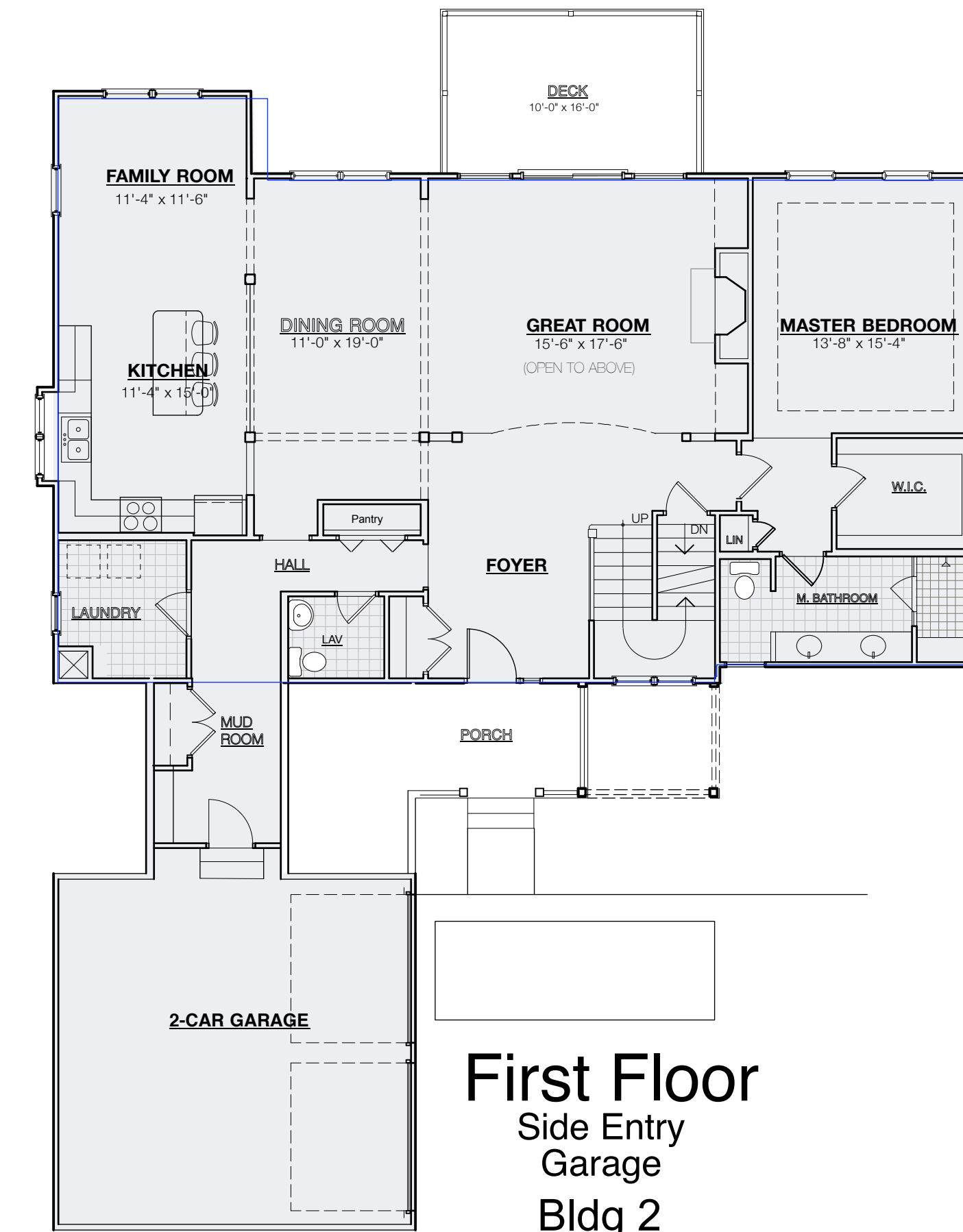
CONSTRUCTION NOTES:

UNIT TYPE A @ DEVENS HOUSE

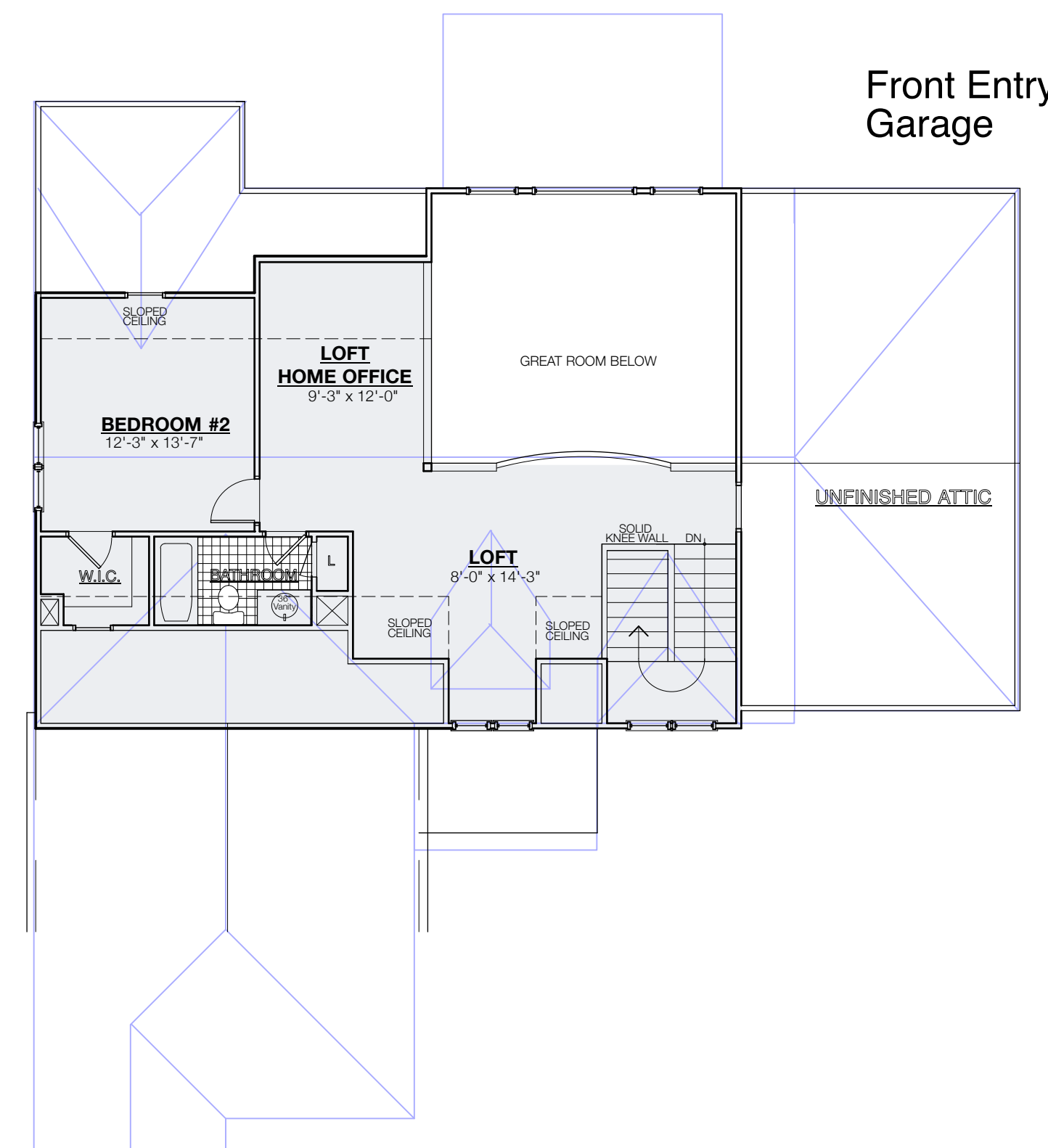
- 10" poured concrete foundation
- 2x6 exterior wall construction
- fiber cement clapboards and board and batten siding to match Devens house in spacing and color
- 6" pvc corner boards, standing and running trim
- clad wood double hung windows with simulated divided lights, low E, insulated glass
- 3-tab asphalt 25 year shingles to match color of Devens house, with standing seam roof accents
- composite porch decking and railing system
- aluminum half-round gutters and round downspouts
- insulated fiberglass ThermoTru Classic entry door
- carriage house style overhead garage doors



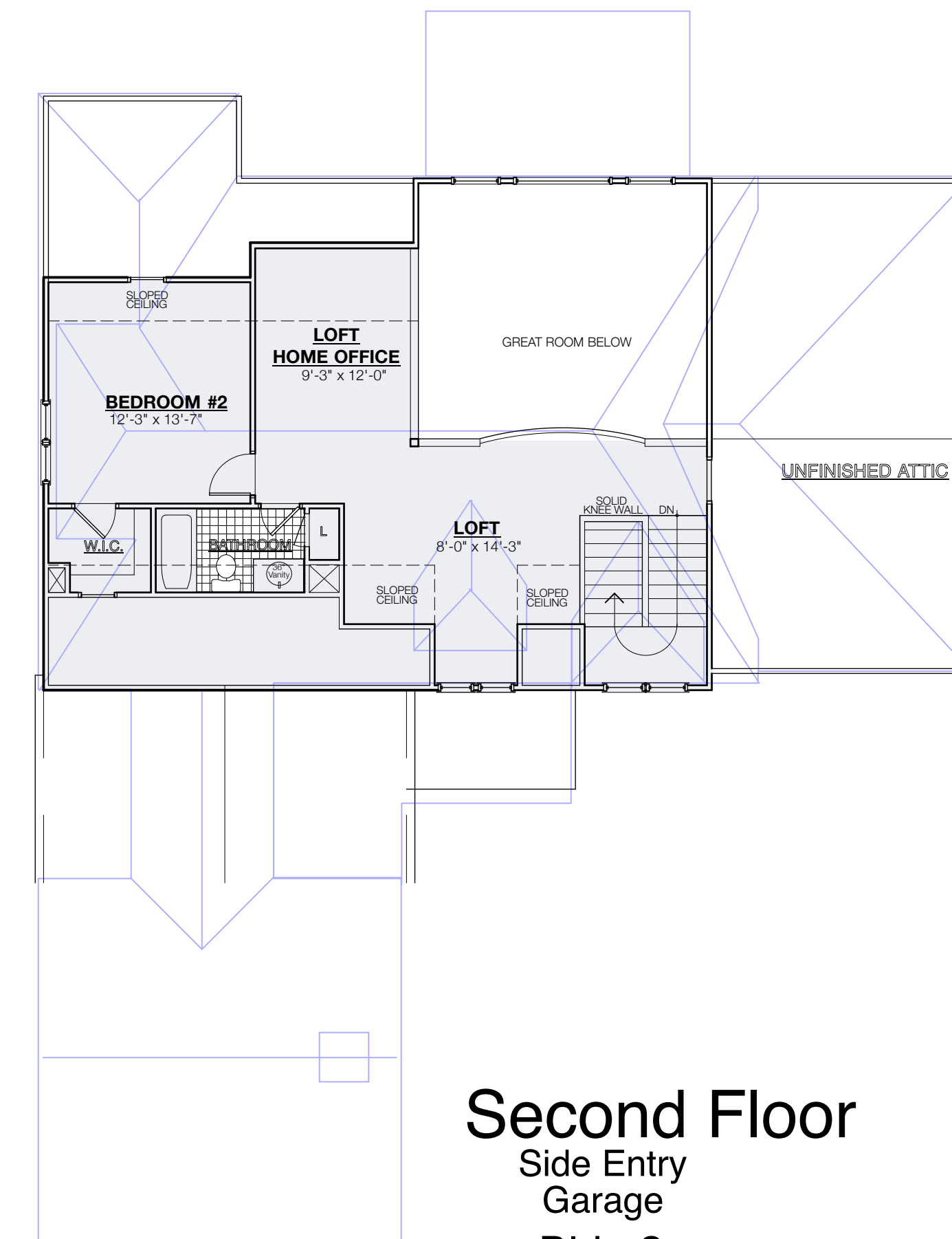
First Floor
Front Entry
Garage
Bldg 1



First Floor
Side Entry
Garage
Bldg 2



Second Floor
Front Entry
Garage
Bldg 1



Second Floor
Side Entry
Garage
Bldg 2

FIRST FLOOR AREA	1825 SF
SECOND FLOOR AREA	600
TOTAL	2425 SF
finished basement not to exceed	1175

(MAX ALLOWABLE LIVABLE FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3600 SF)

Unit Type A

Unit Type A Plans and
Devens House Cluster

Scale: 1/8" = 1'-0"
Date: 1.24.19

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CANTON AVENUE
MILTON, MA

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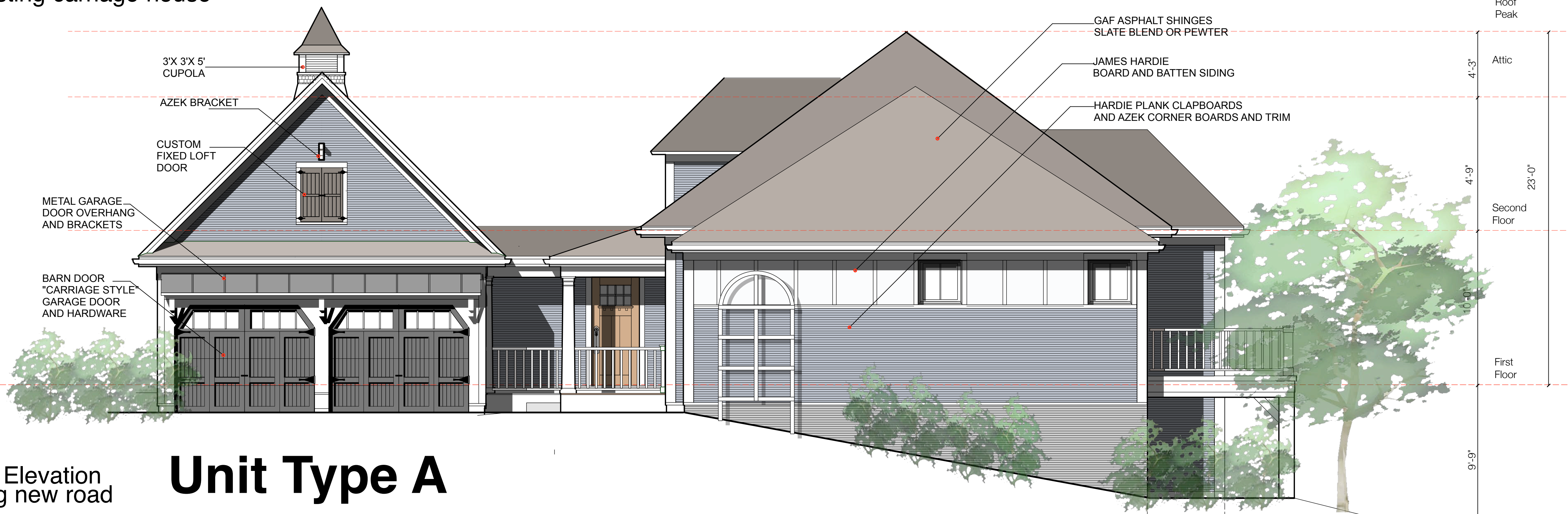
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Front Elevation
with side-facing garage
(building #2)



Front Elevation
of existing carriage house



Side Elevation
facing new road

Unit Type A

CONCORD, MASSACHUSETTS
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Unit Type A Elevations
Devens House Cluster
Scale: 1/4" = 1'-0"
Date: 1.24.19



Front Elevation
with front-facing garage
(building #1)



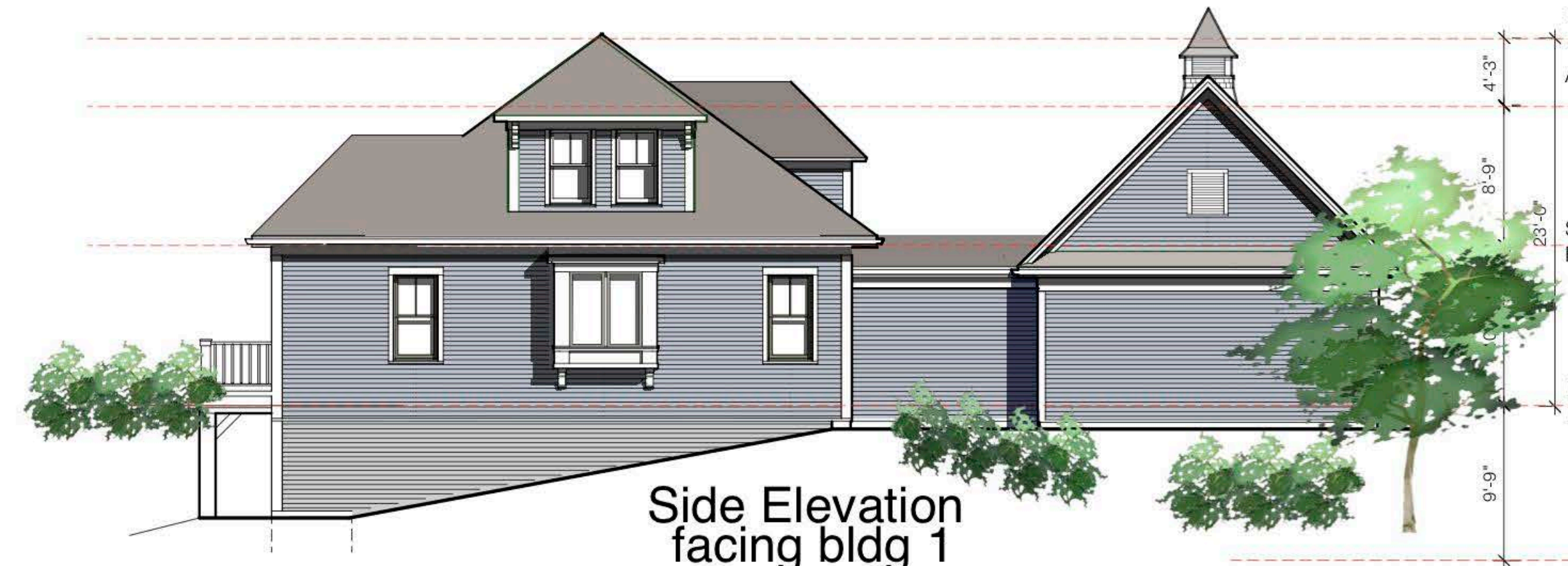
Front Elevation
with side-facing garage
(building #2)



Side Elevation
facing bldg 2



Side Elevation
facing new road



Side Elevation
facing bldg 1



Rear Elevation
walk-out condition

Roof Peak
Attic
4'-3"
8'-9"
23'-0"
Second Floor
10'-0"
First Floor
9'-9"

Roof Peak
Attic
4'-3"
8'-9"
23'-0"
Second Floor
10'-0"
First Floor
9'-9"

Roof Peak
Attic
4'-3"
8'-9"
23'-0"
Second Floor
10'-0"
First Floor
9'-9"

Roof Peak
Attic
4'-3"
8'-9"
23'-0"
Second Floor
10'-0"
First Floor
9'-9"

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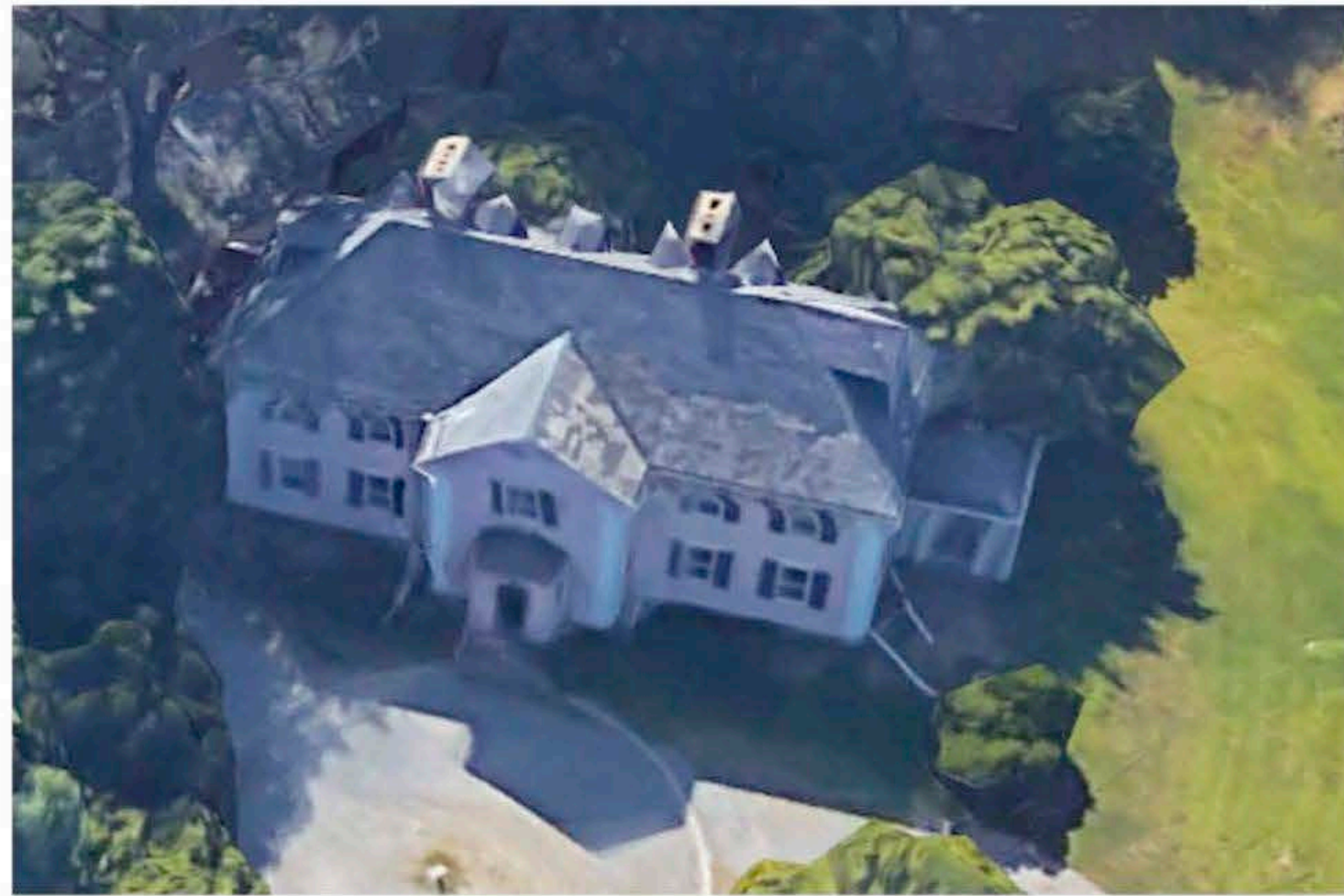
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Unit Type A Elevations
Devens House Cluster
Scale: 1/8" = 1'-0"
Date: 1.24.19

Unit Type A

WOLCOTT HOUSE

1726 CANTON AVENUE MILTON, MA
EXISTING PHOTOGRAPHS



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CANTON AVENUE
MILTON, MA

Photos of
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DATE: 1-24-19

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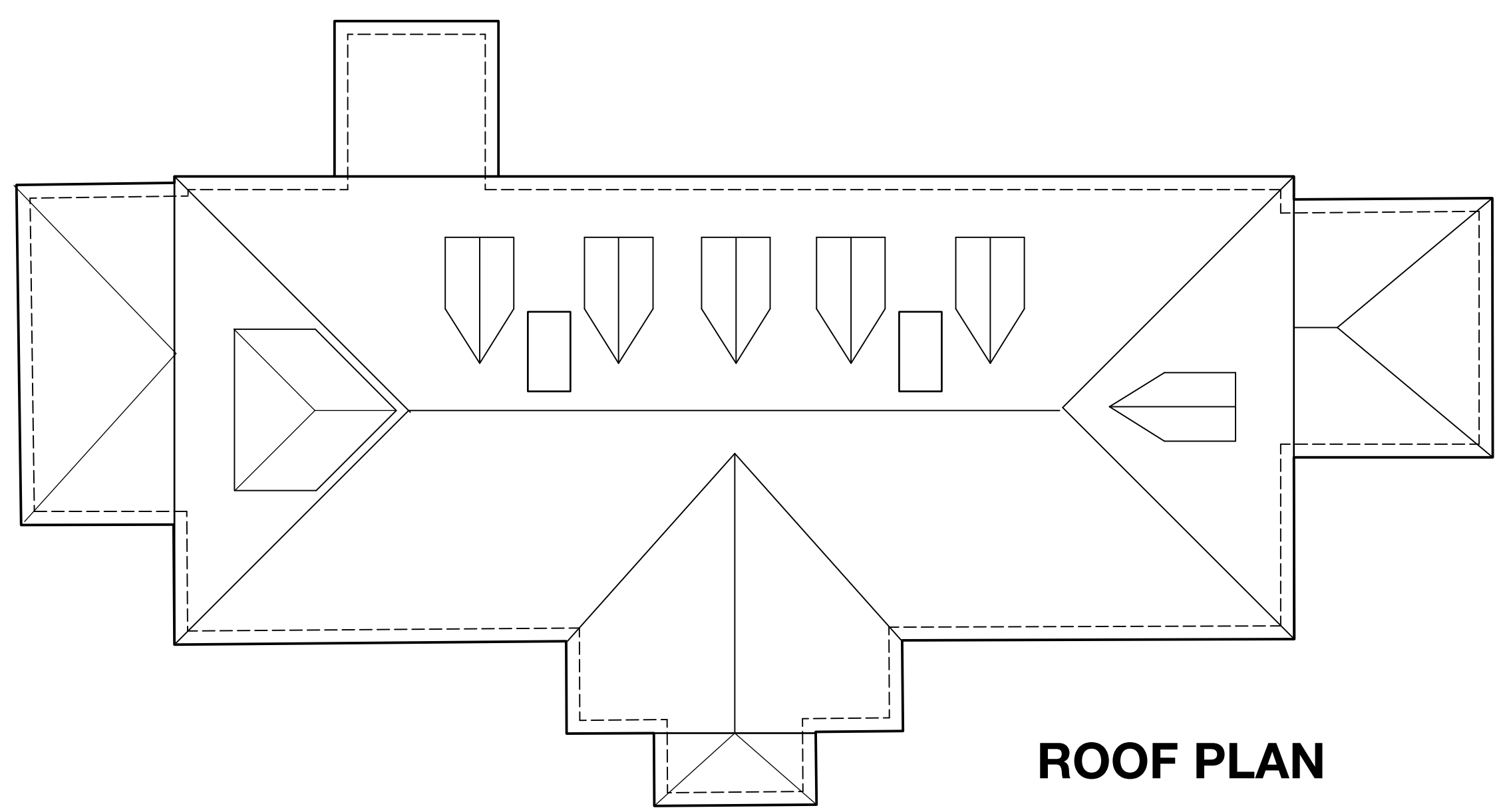
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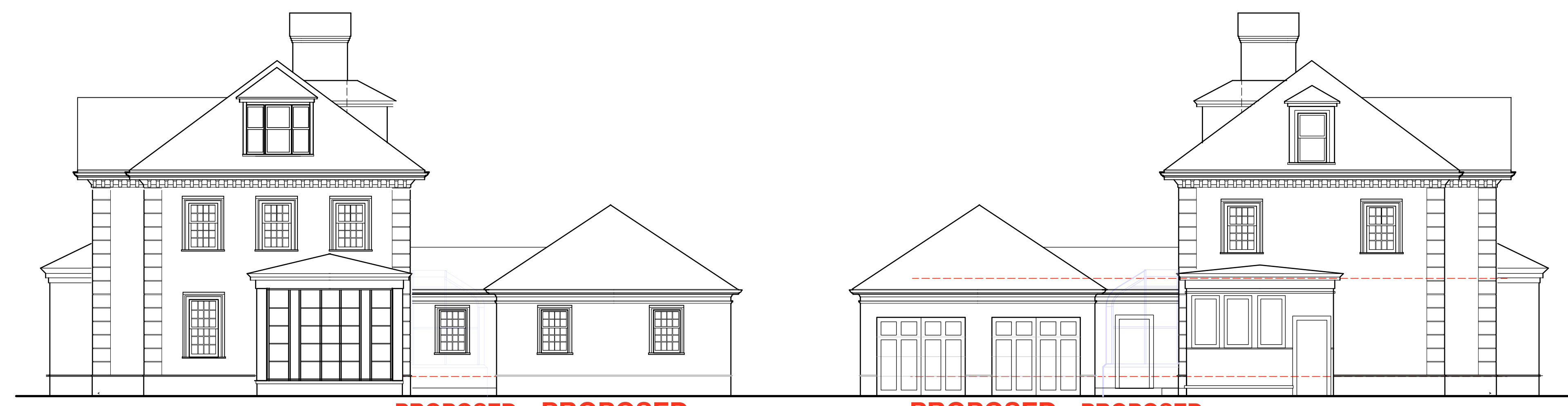
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CANTON AVENUE
MILTON, MA

Proposed Plans and Elevations
WOLCOTT HOUSE
1726 Canton Ave. Milton, MA
SCALE: 1/8"=1'-0"
DATE: 1.24.19

8
H4
HISTORIC HOUSE



ROOF PLAN

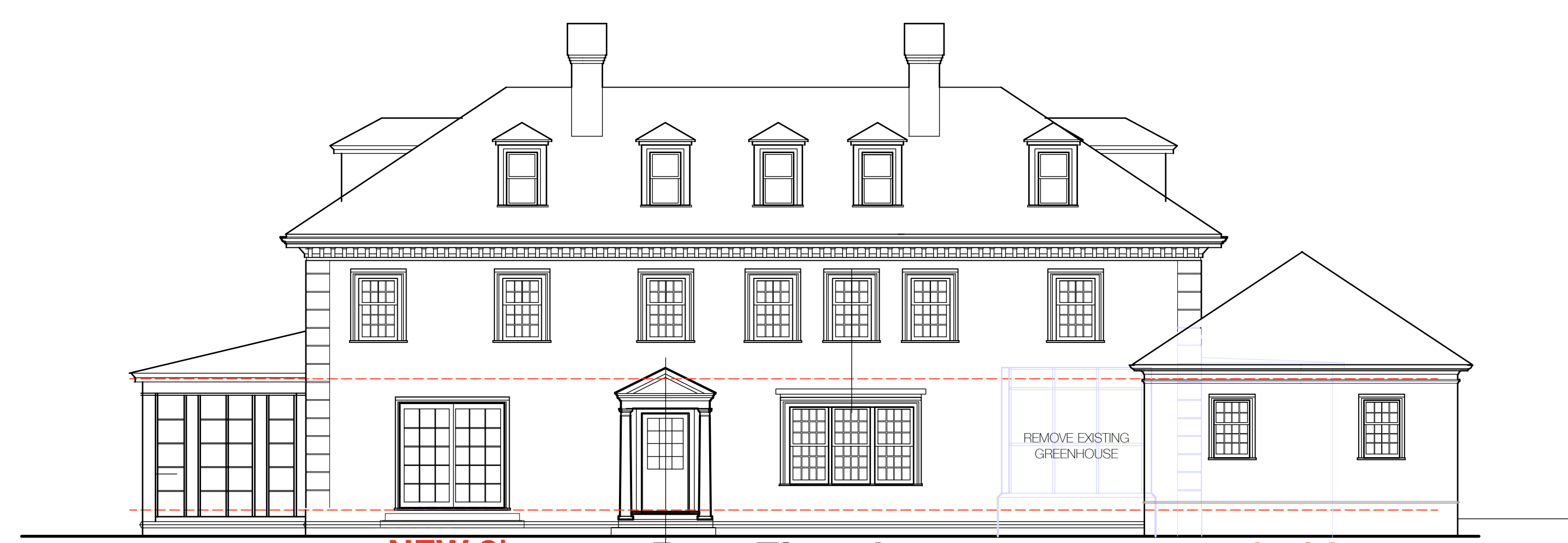


Left Elevation
propose new garage
and mudroom

**PROPOSED
MUDROOM
PROPOSED
2-CAR
GARAGE**

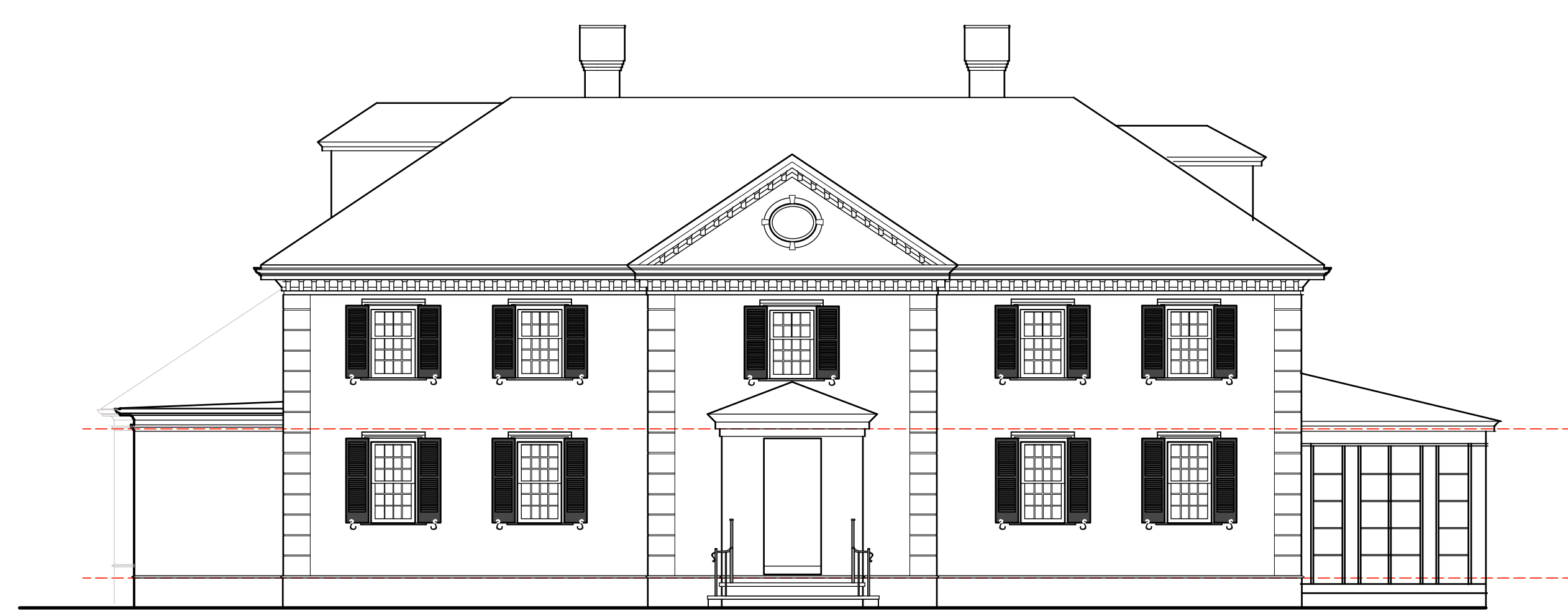
**PROPOSED
2-CAR
GARAGE
PROPOSED
MUDROOM**

Right Elevation
propose new garage
and mudroom

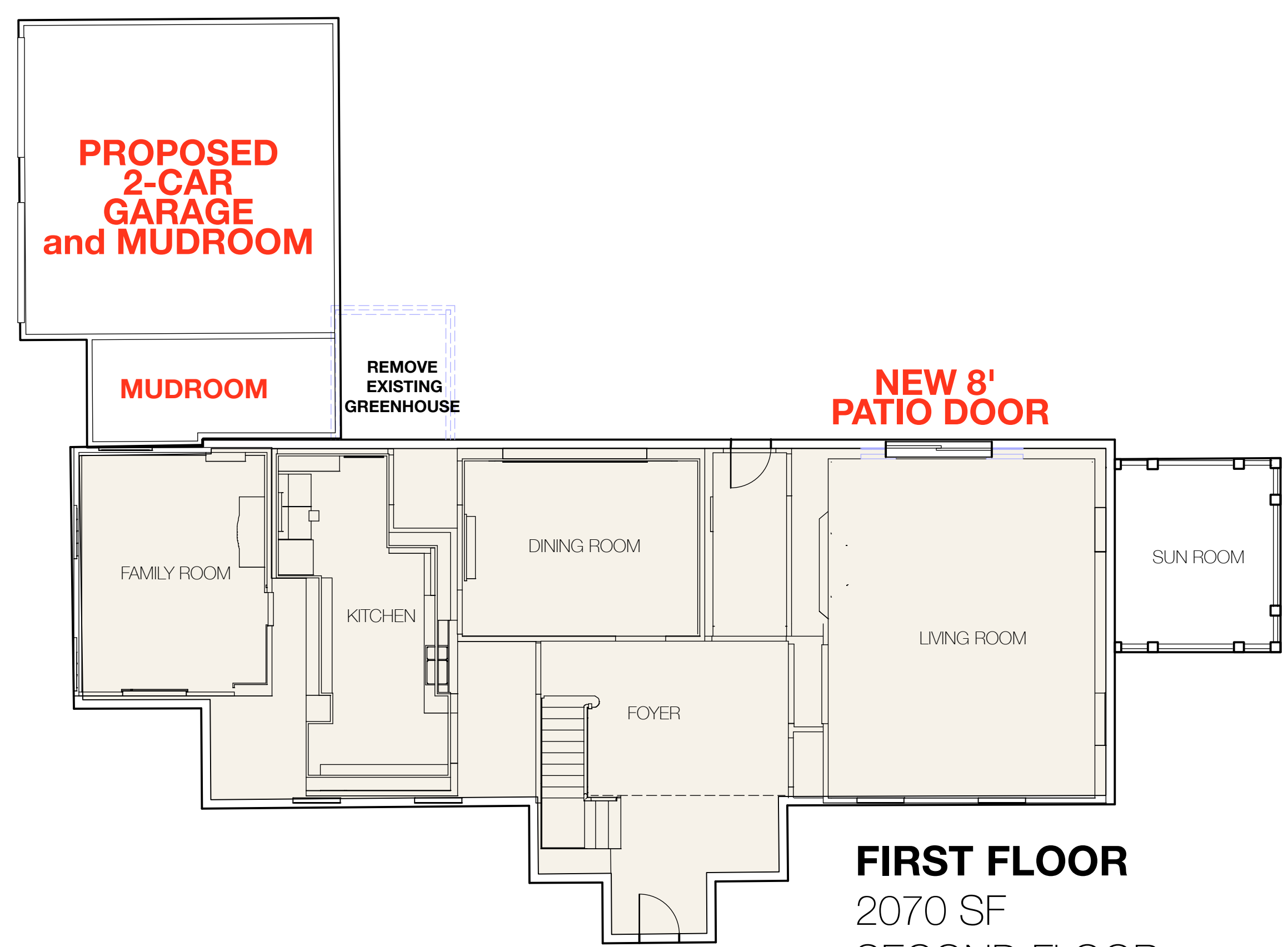


**NEW 8'
PATIO DOOR**
Rear Elevation
propose new patio door
and 2-car garage

**PROPOSED
2-CAR
GARAGE**



Front Elevation
no proposed modifications



FIRST FLOOR
2070 SF
SECOND FLOOR
1900 SF

Outline of Renovation

- Slate roofing will be repaired or replaced with slate of similar color and texture
- Stucco to be repaired or replaced with similar stucco finishes
- Trim will be replaced with cpvc boards to match size and profile
- Windows will be replaced with Jel-Wen clad insulated windows of the same size and mullion pattern as existing
- Entry doors will be replaced with insulated composite doors by ThermoTru Classic



WOLCOTT HOUSE CLUSTER
SKETCH



WOLCOTT HOUSE CLUSTER
ILLUTRATIVE SITE PLAN

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MILTON, MA

Illustrative Site Plan and Sketch
Wolcott House Cluster

Date: 1.24.19

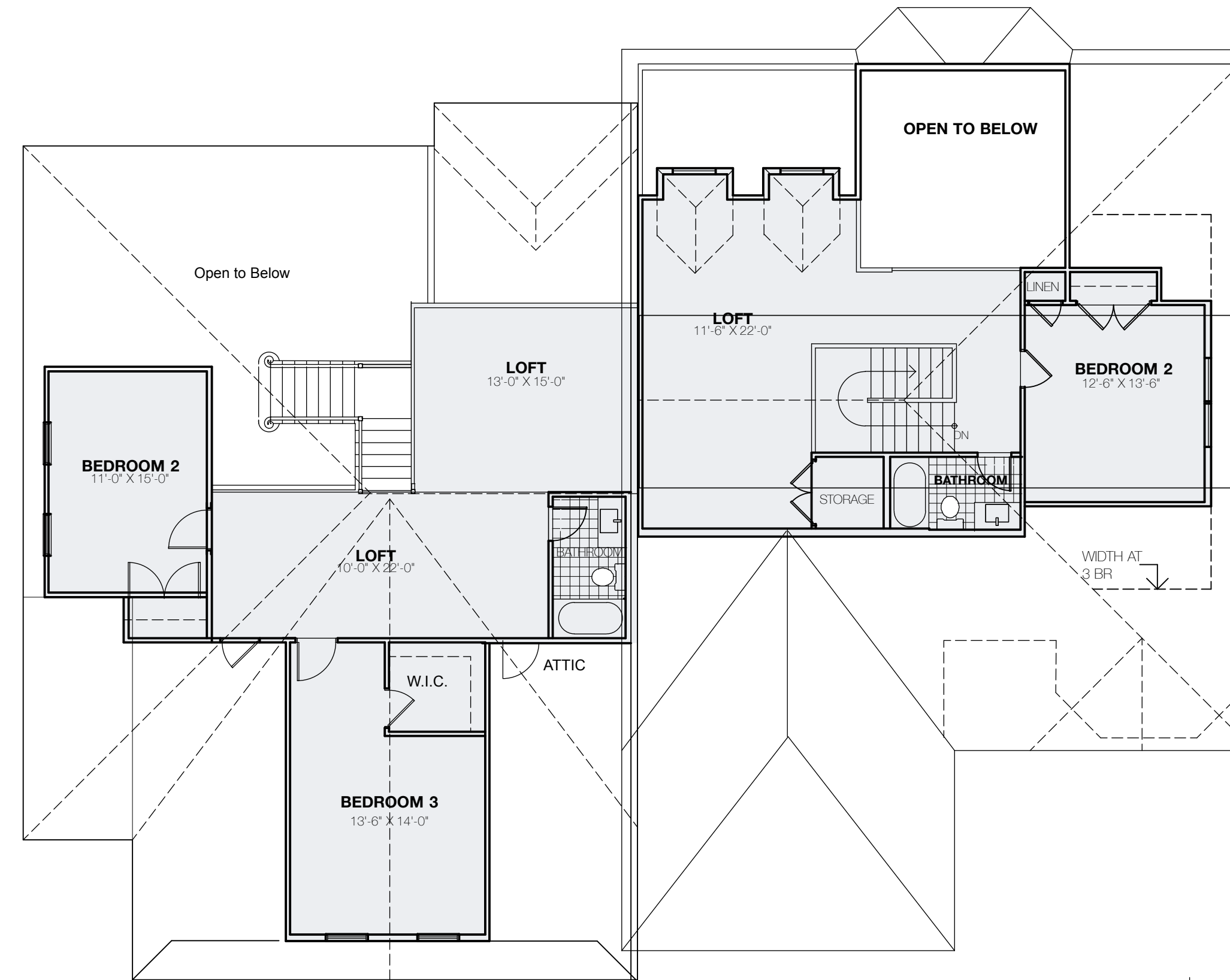
WOLCOTT HOME DESIGN GOAL

The concept is to create an area along the new road that includes the historic Wolcott Home and a rich variety of new home designs built at a respectful distance, with similar roof forms, stucco finish and light coloring.

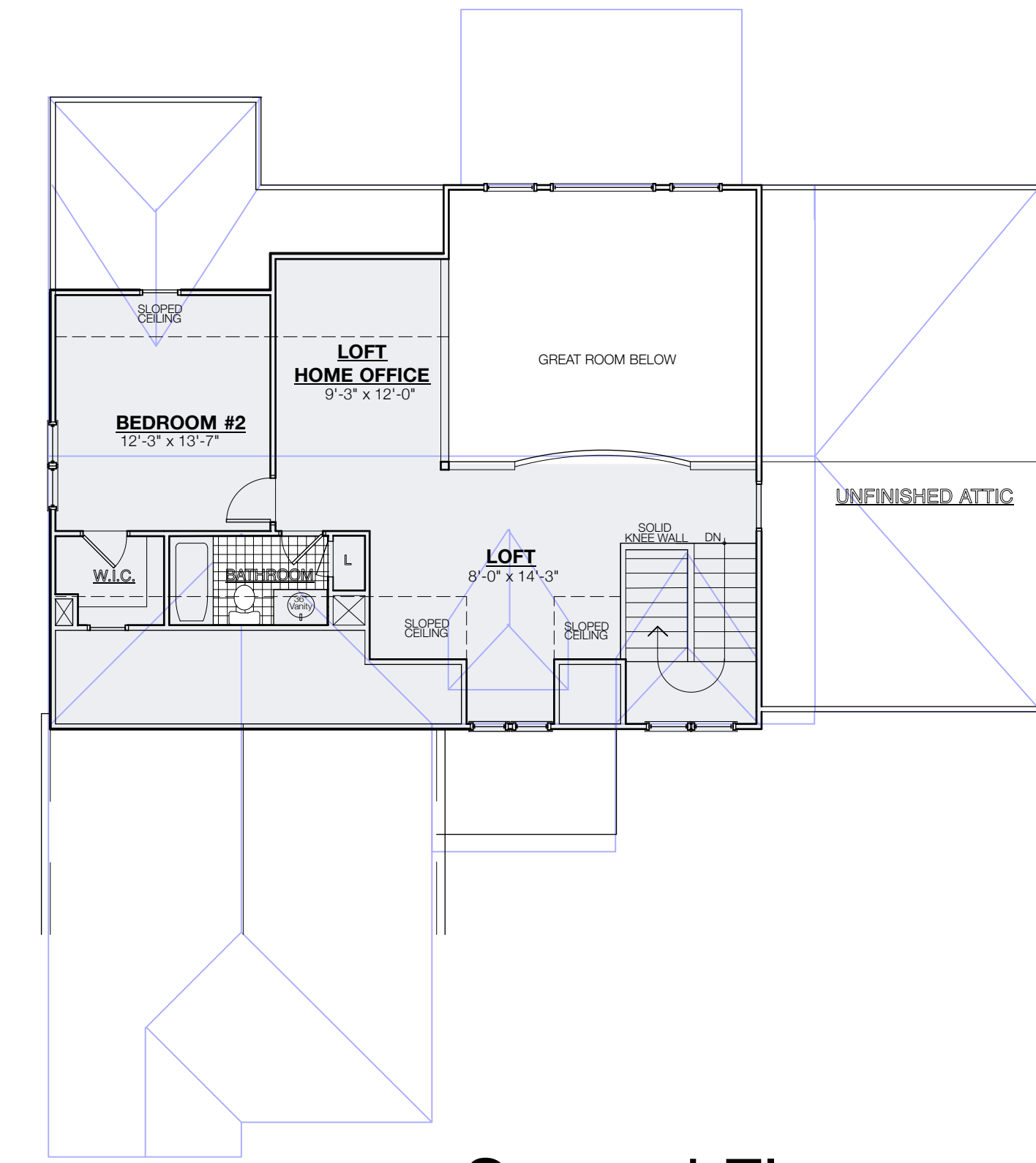
CONSTRUCTION NOTES:

UNIT TYPES A, B and C @ WOLCOTT HOUSE

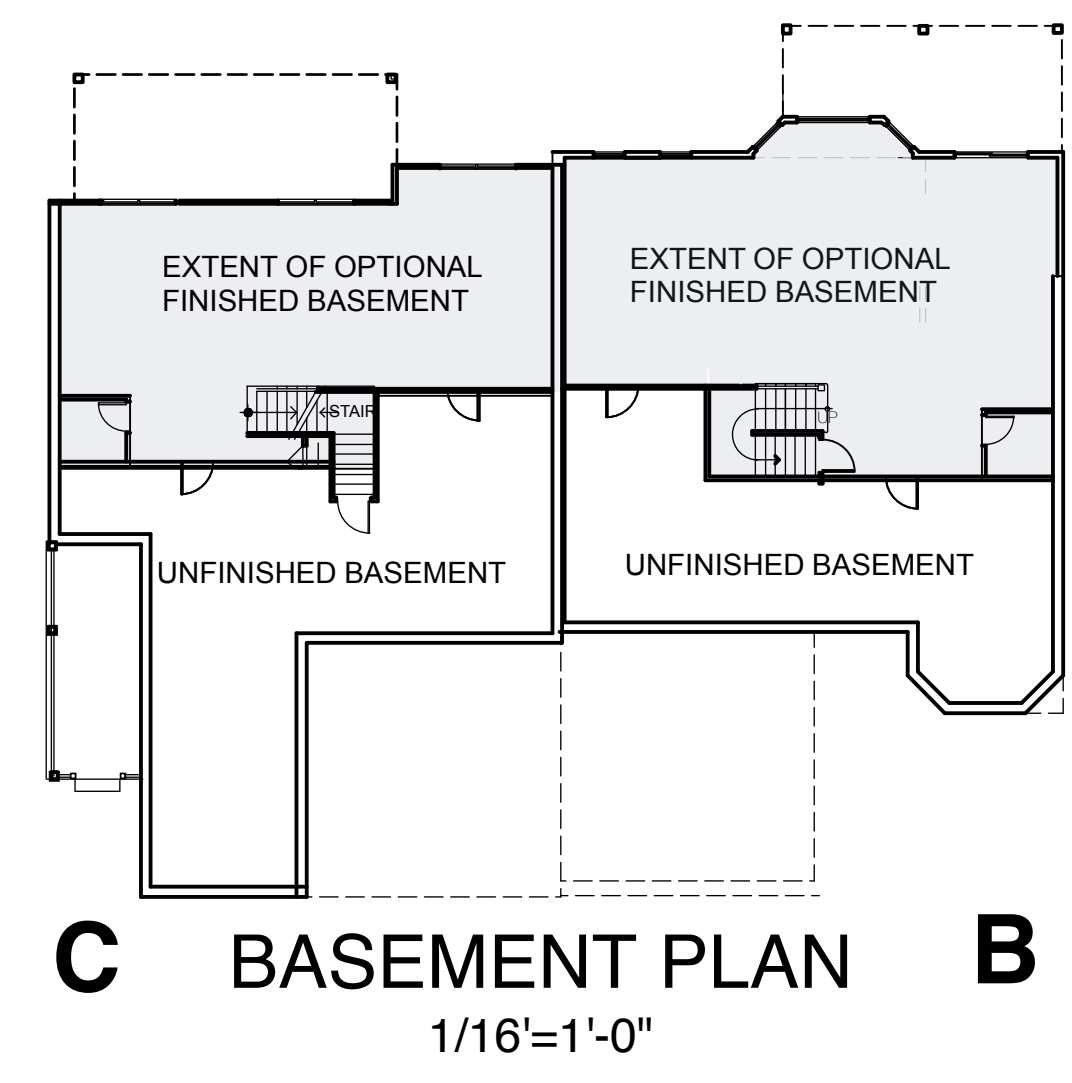
- 10" poured concrete foundation
- 2x6 exterior wall construction
- siding will be stucco finished with a light warm color compatible with Wolcott House
- 12" pvc corner boards, standing and running trim
- clad wood double hung windows with simulated divided lights, low E, insulated glass
- 3-tab asphalt 25 year shingles to match color of Wolcott house, with standing seam roof accents
- composite porch decking and railing system
- aluminum half-round gutters and round downspouts
- insulated fiberglass ThermaTru Classic entry door
- carriage house style overhead garage doors



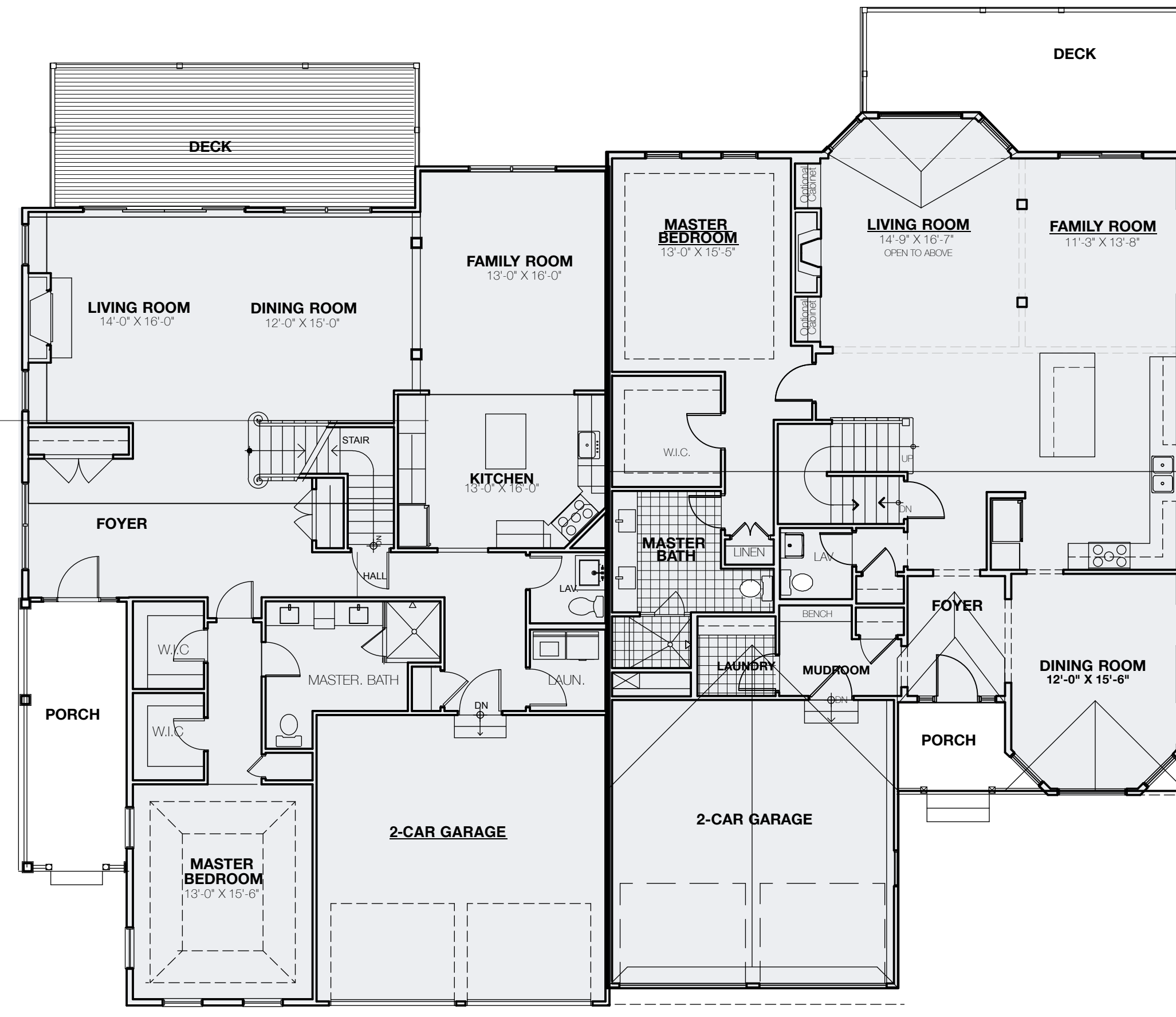
Second Floor



Second Floor



C BASEMENT PLAN B
1/16"=1'-0"

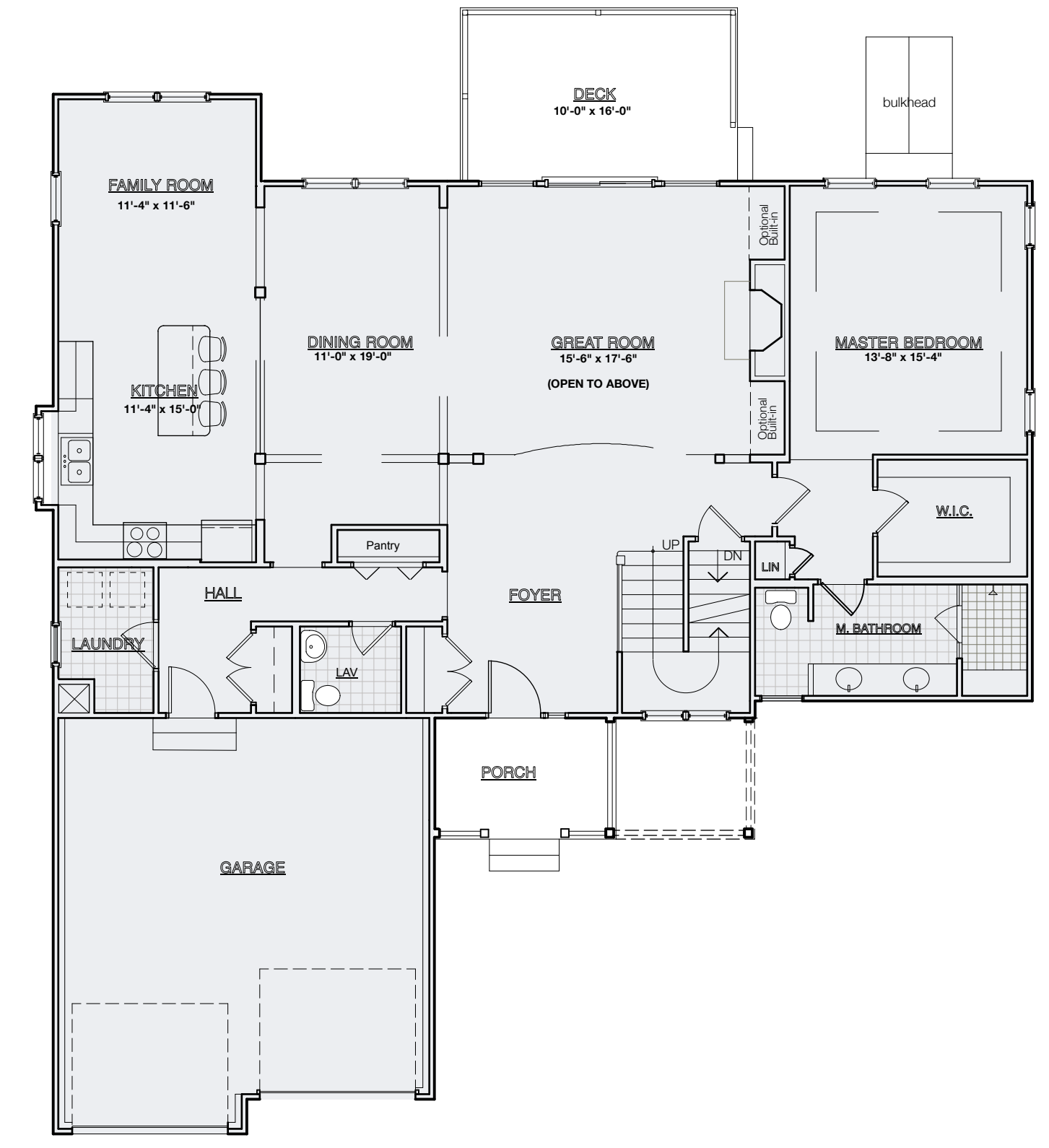


First Floor

Unit Type C
THREE BEDROOM

FIRST FLOOR AREA	1800 SF
SECOND FLOOR AREA	950
TOTAL	2750 SF
finished basement not to exceed	850

(MAX ALLOWABLE LIVABLE FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3600 SF)



First Floor

Unit Type A
TWO BEDROOM

FIRST FLOOR AREA	1825 SF
SECOND FLOOR AREA	600
TOTAL	2425 SF
finished basement not to exceed	1175

(MAX ALLOWABLE LIVABLE FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3600 SF)

Unit Type B
TWO BEDROOM and THREE BEDROOM

FIRST FLOOR AREA	1700 SF	at 3BR	1700
SECOND FLOOR AREA	700		850
TOTAL	2400 SF		2550
finished basement not to exceed	1200		1050

(MAX ALLOWABLE LIVABLE FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3600 SF)

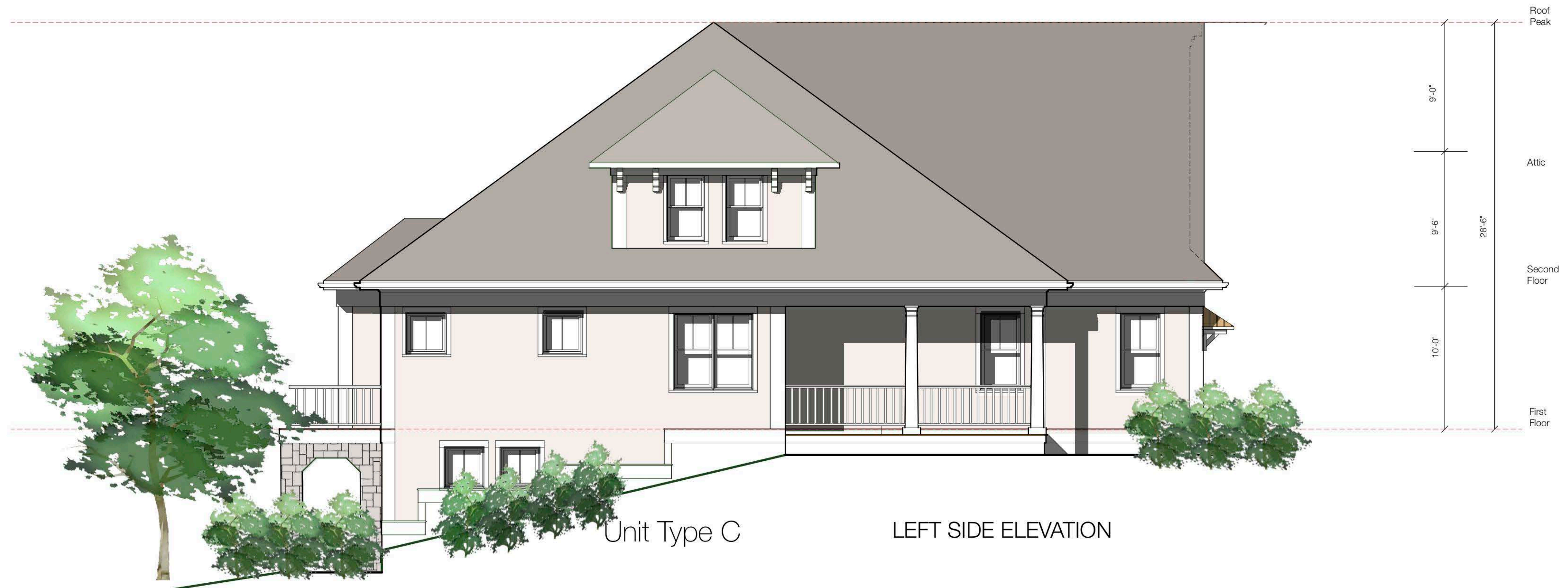
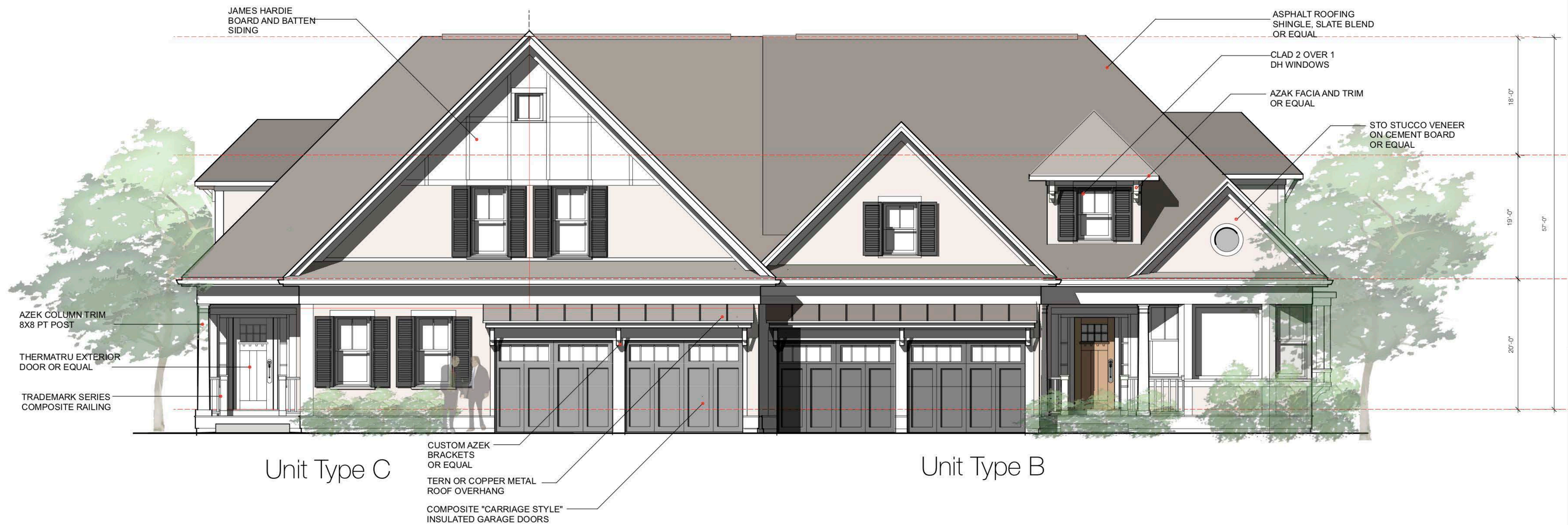
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MILTON, MA

Type A, B and C Floor Plans
at Wolcott House Cluster
Scale: 1/8" = 1'-0"
Date: 1.24.19



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Units B and C Elevations
 at Wolcott House Cluster

Scale: 1/4" = 1'-0"
 Date: 1.24.19

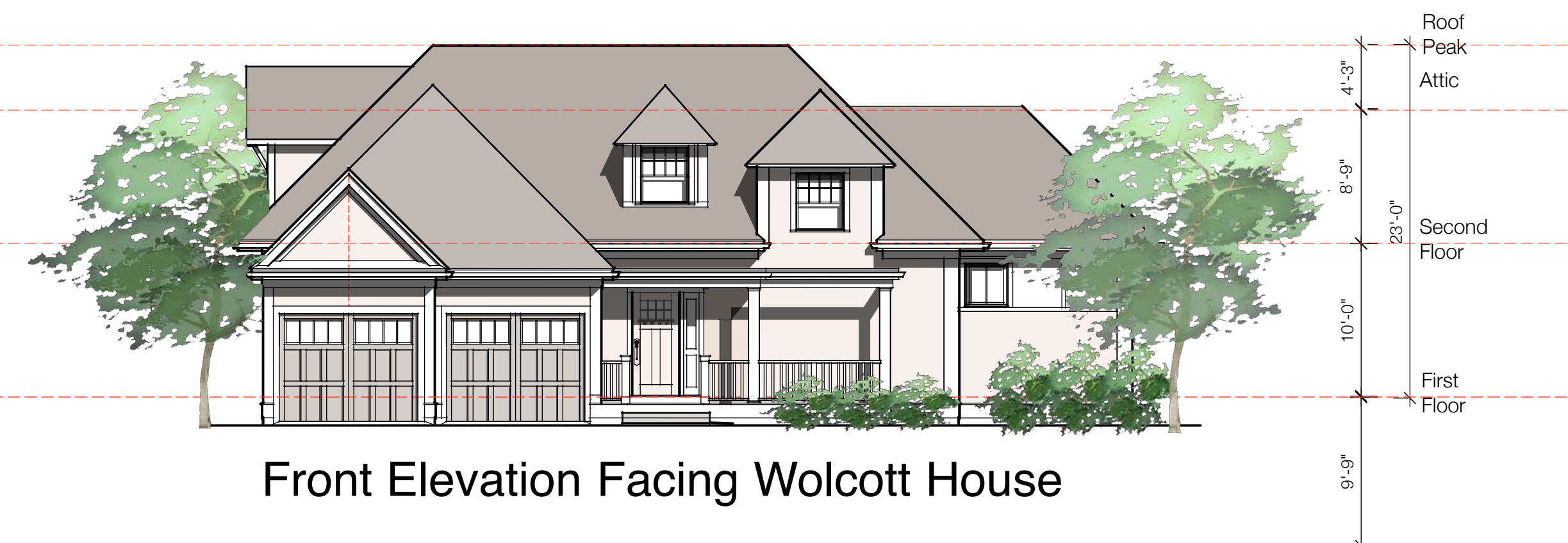
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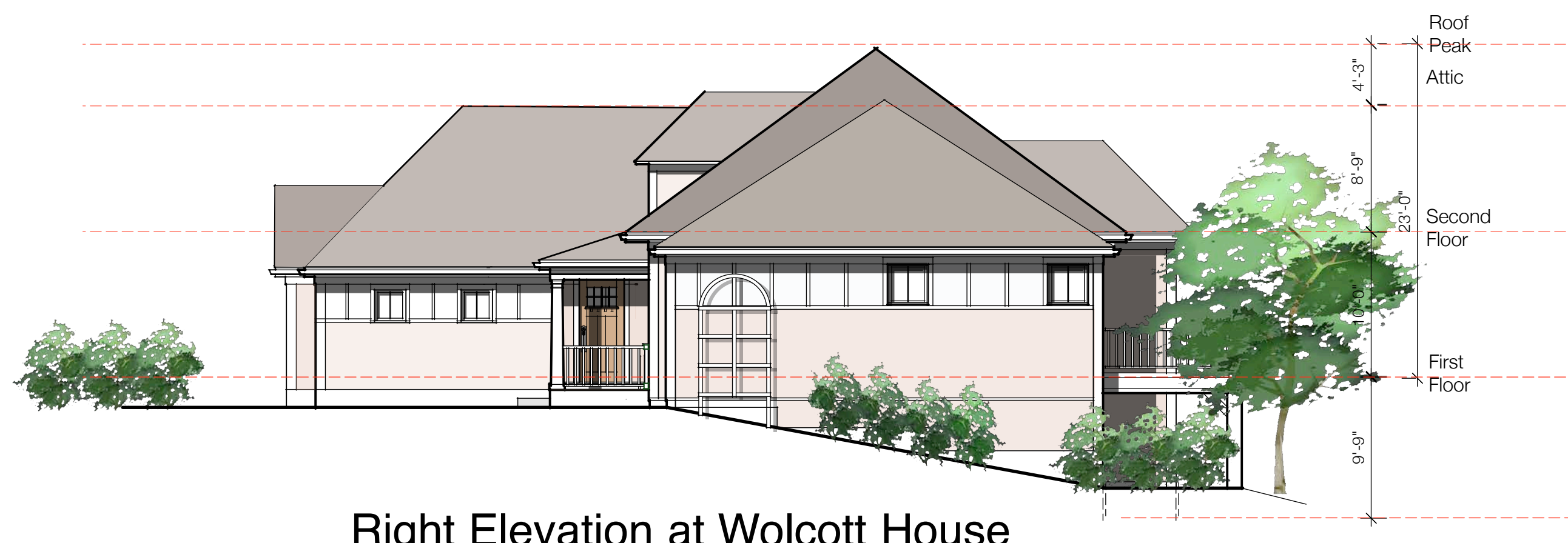
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Units A, B and C Elevations
 at Wolcott House Cluster

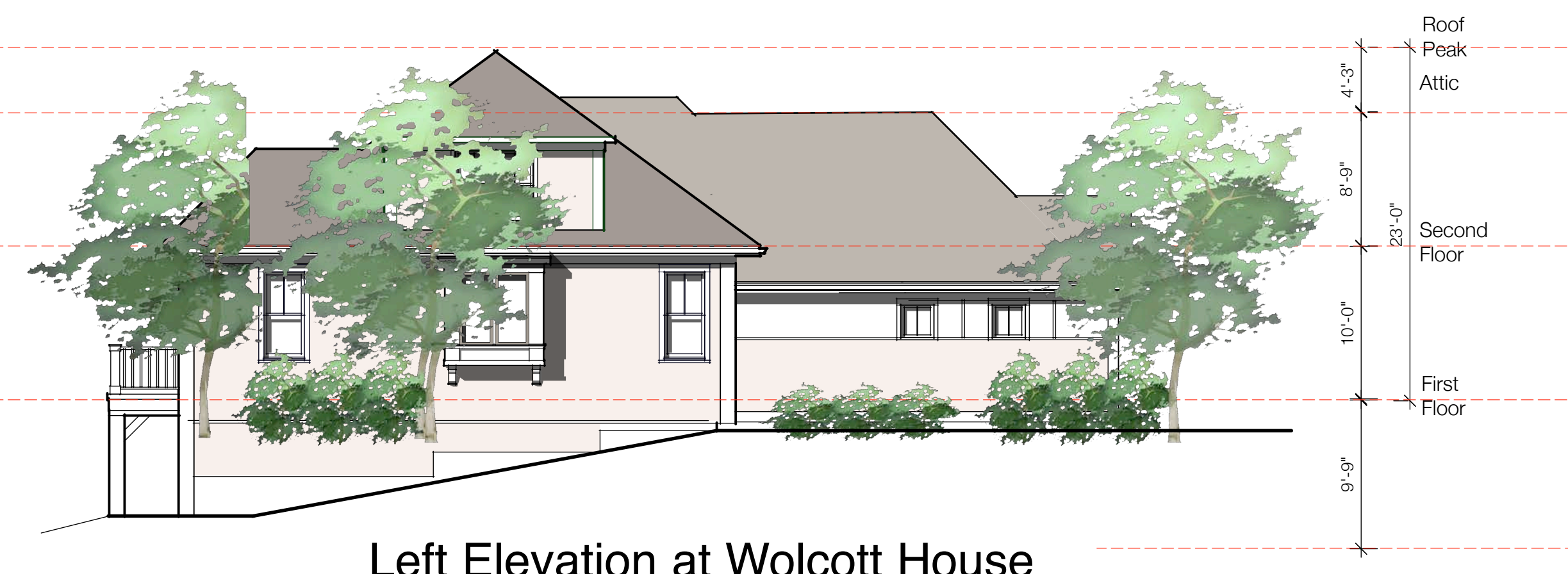
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Front Elevation Facing Wolcott House



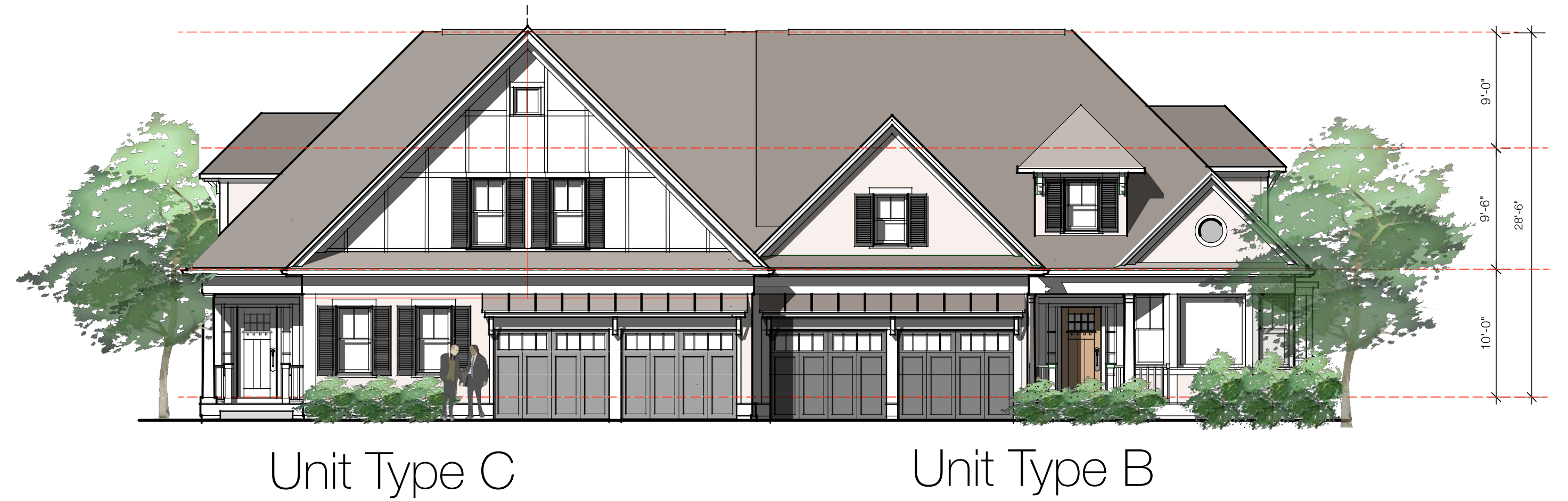
Right Elevation at Wolcott House



Left Elevation at Wolcott House

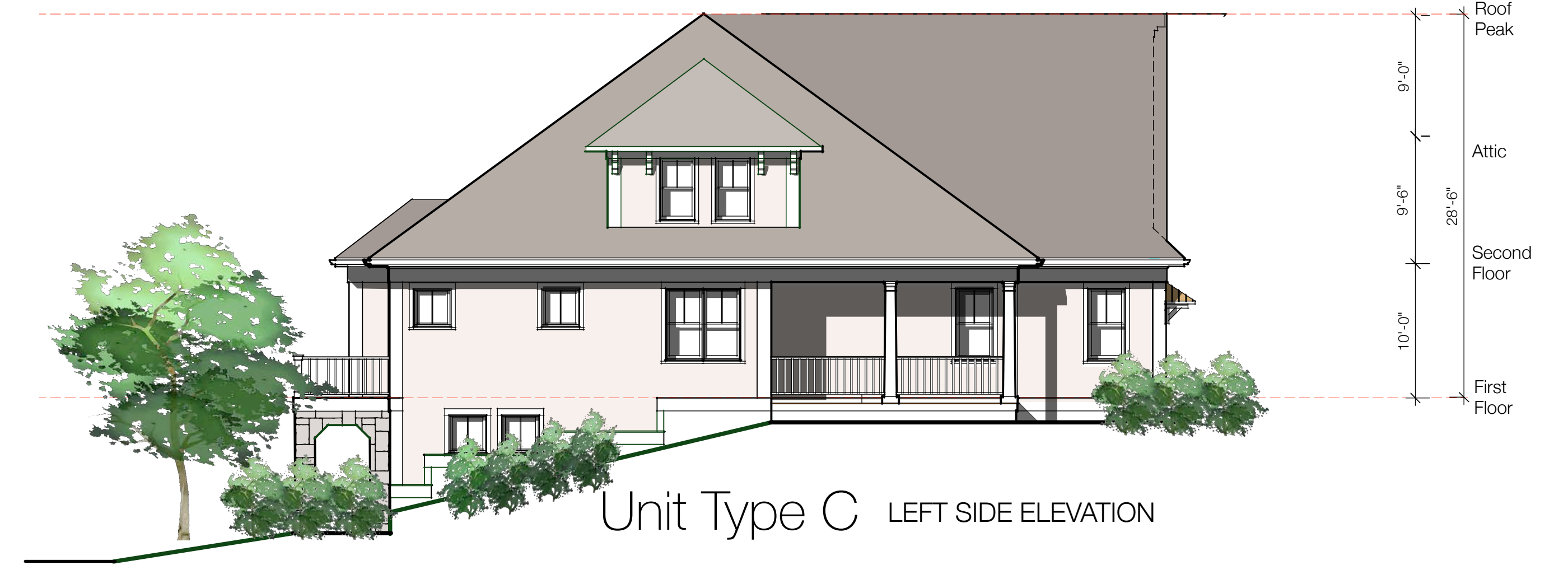


Rear Elevation facing Wooded area

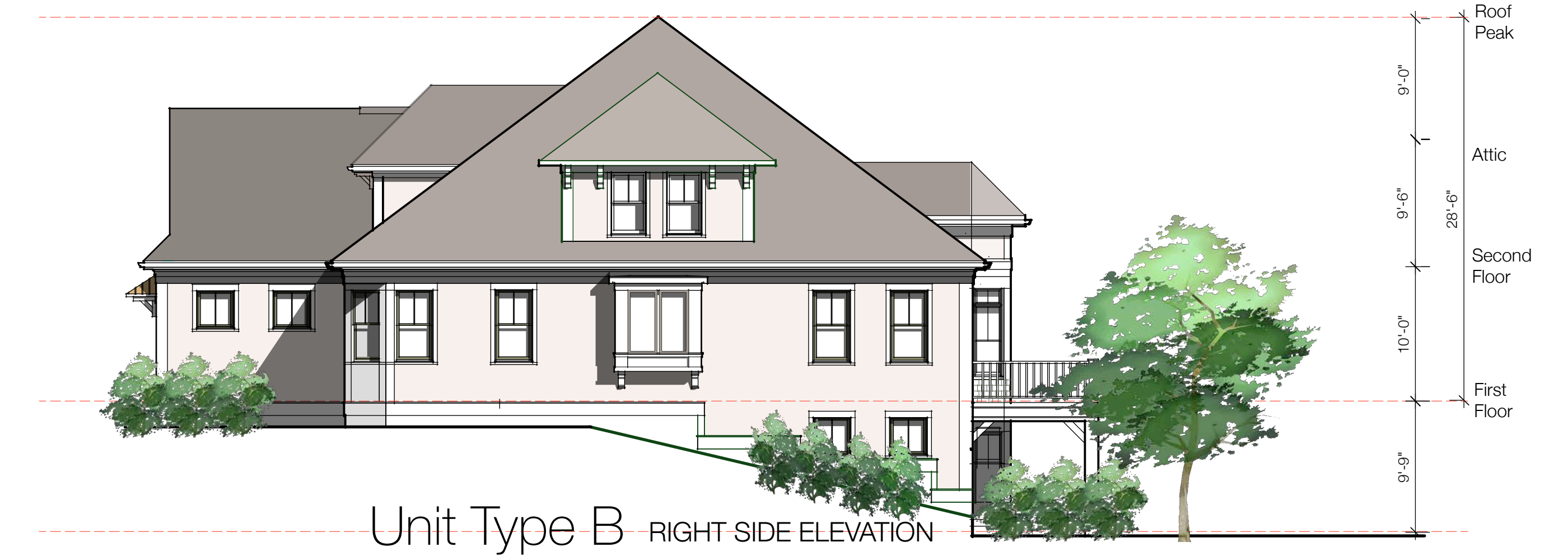


Unit Type C

Unit Type B



Unit Type C LEFT SIDE ELEVATION



Unit Type B RIGHT SIDE ELEVATION



Unit Type B

Unit Type C

MANOR HOUSE

1672 CANTON AVENUE MILTON, MA
EXISTING PHOTOGRAPHS



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Photos of
Manor House
DATE: 1.24.19

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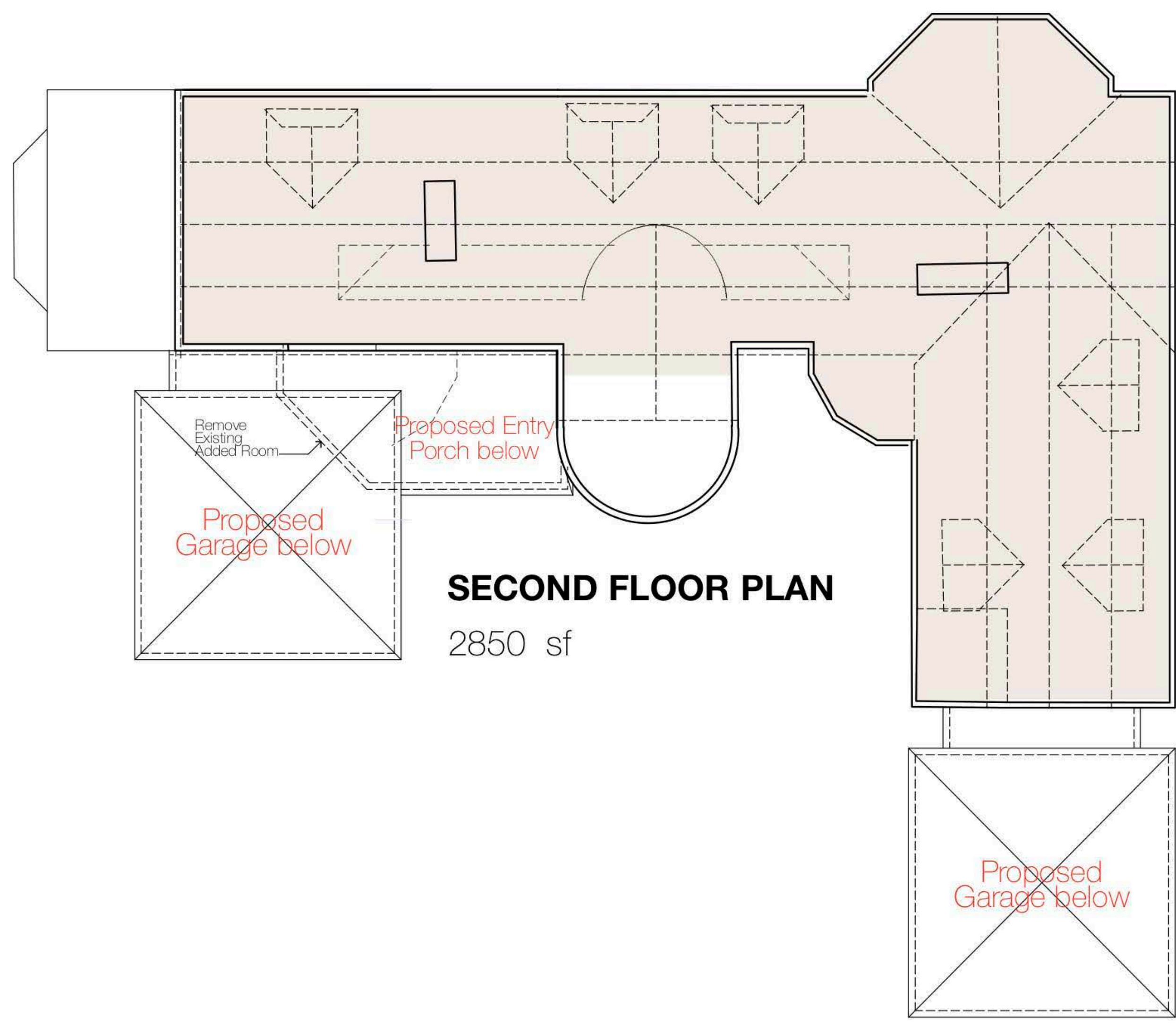
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WOLCOTT WOODS, LLC
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WOLCOTT WOODS
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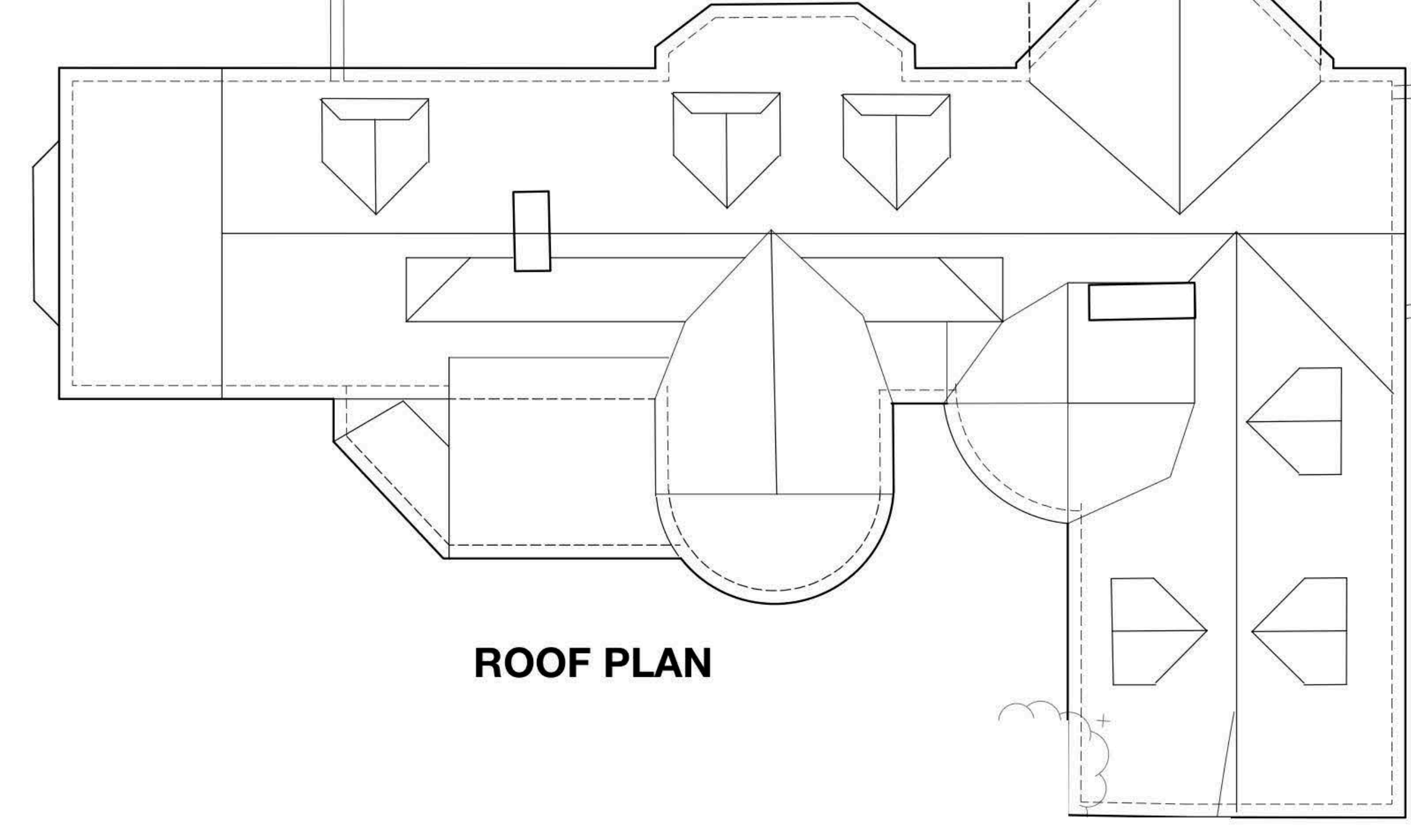
Proposed Plans
 MANOR HOUSE
 1672 Canton Ave Milton, MA
 SCALE: 1/8" = 1'-0"
 DATE: 1.24.19

13
 H6
 HISTORIC HOUSE



SECOND FLOOR PLAN

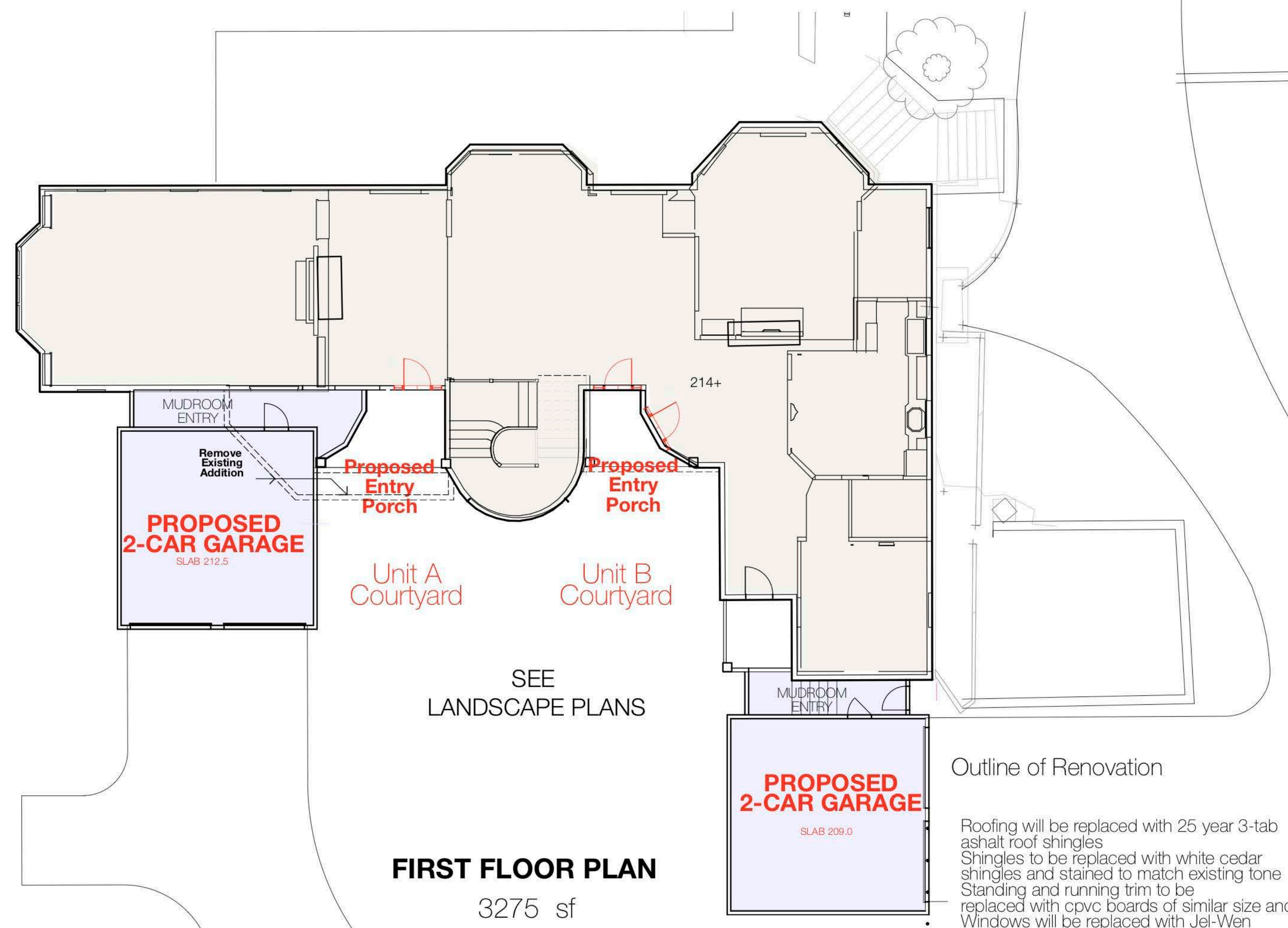
2850 sf



ROOF PLAN



ORIGINAL HOUSE ENTRANCE



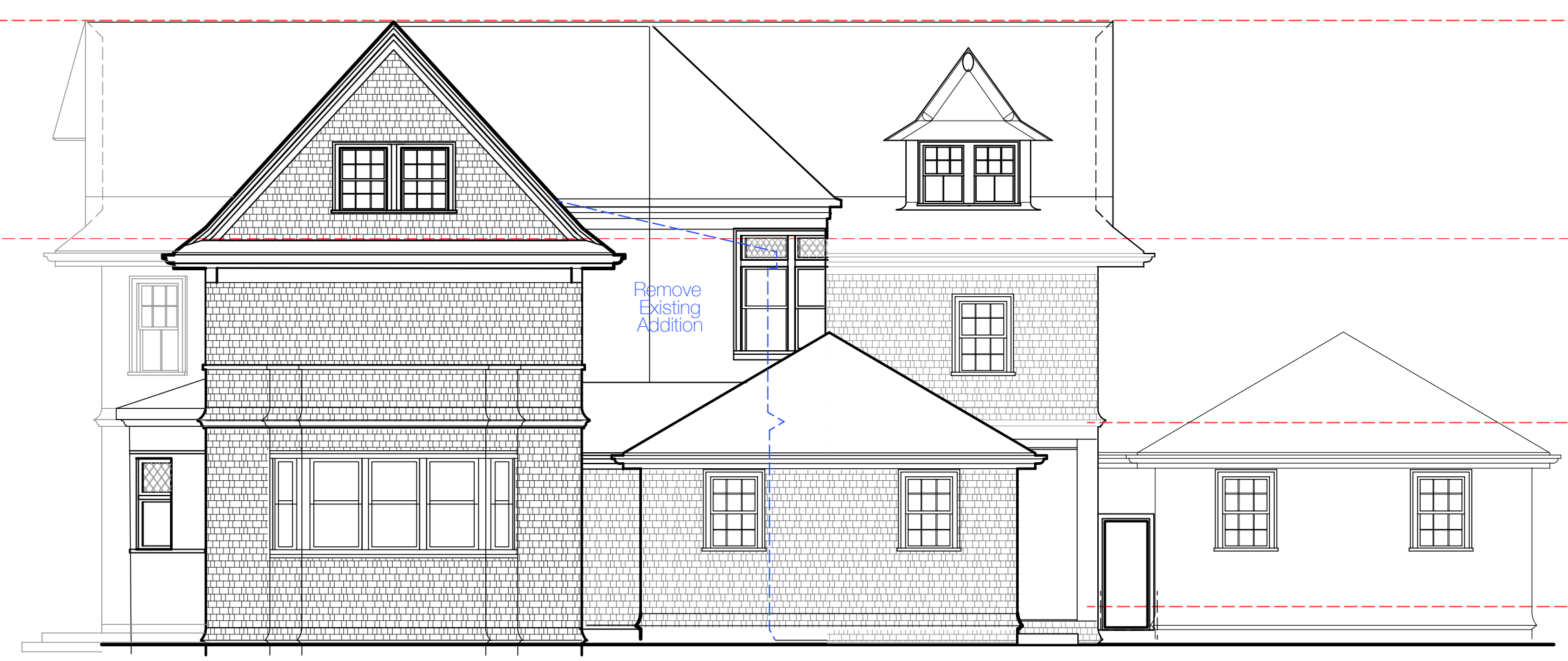
FIRST FLOOR PLAN

3275 sf

Outline of Renovation

- Roofing will be replaced with 25 year 3-tab asphalt roof shingles
- Shingles to be replaced with white cedar shingles and stained to match existing tone
- Standing and running trim to be replaced with cpvc boards of similar size and profile
- Windows will be replaced with Jel-Wen clad insulated windows of the same size and mullion pattern as existing windows
- Entry doors will be replaced with insulated composite doors by ThermaTru Classic

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West Elevation
2 proposed garages

PROPOSED 2-CAR GARAGE and Mudroom Link

PROPOSED 2-CAR GARAGE and Mudroom Entry BEYOND



PROPOSED 2-CAR GARAGE

Proposed Entry Porch

Proposed Entry Porch

PROPOSED 2-CAR GARAGE

South Elevation
proposed new garages and new entry porches

ELEV 214.0



PROPOSED 2-CAR GARAGE and Mudroom Entry

East Elevation
proposed new garage and entry



North Elevation
no proposed modifications

ELEV 214.0

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MILTON, MA

Proposed Elevations
MANOR HOUSE
1672 Canton Ave Milton, MA
SCALE: 1/8"=1'-0"
DATE: 1.24.19



MANOR HOUSE CLUSTER
ILLUSTRATIVE SITE PLAN

Scale: 1:24,19
Date:

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CANTON AVENUE
MILTON, MA

WOLCOTT WOODS, LLC
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GRAZADO VELLECO ARCHITECTS, INC
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PROPOSED DEVELOPMENT
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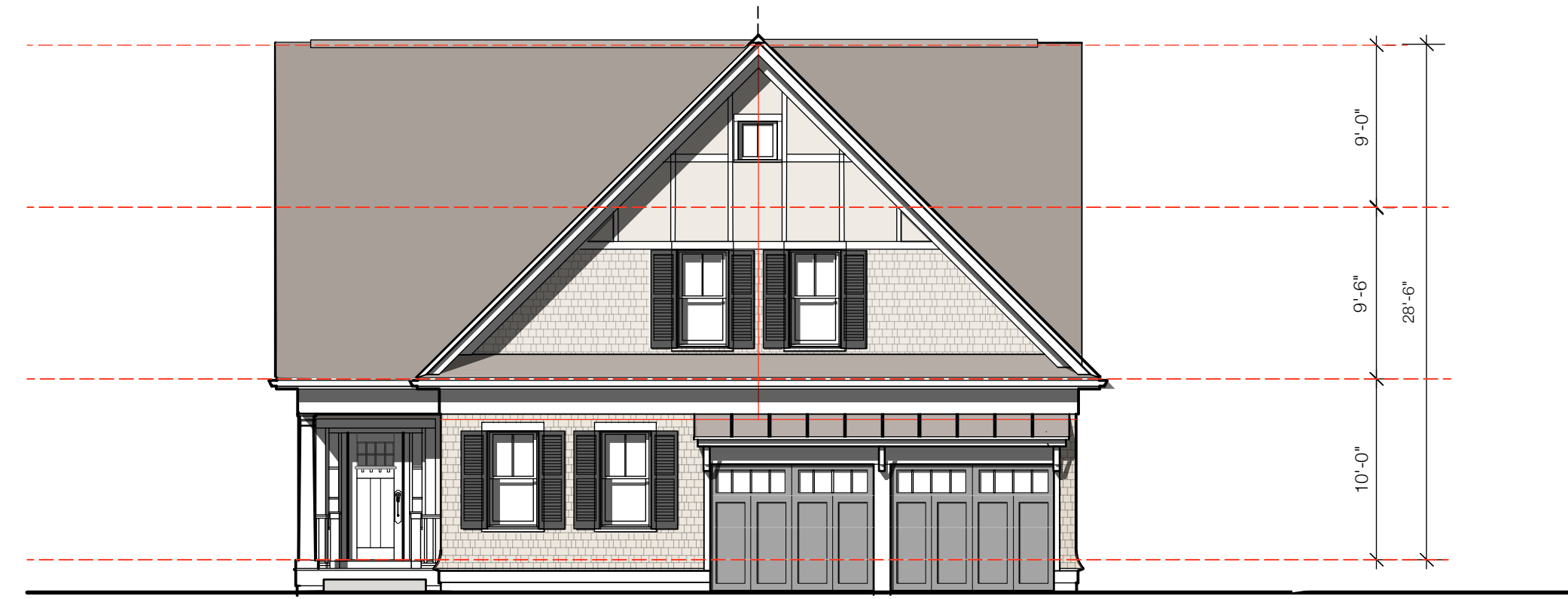
MANOR HOUSE DESIGN GOAL

The concept is to create a small discrete cluster adjacent to the Manor House that includes 2 single family homes designed to complement the historic home.

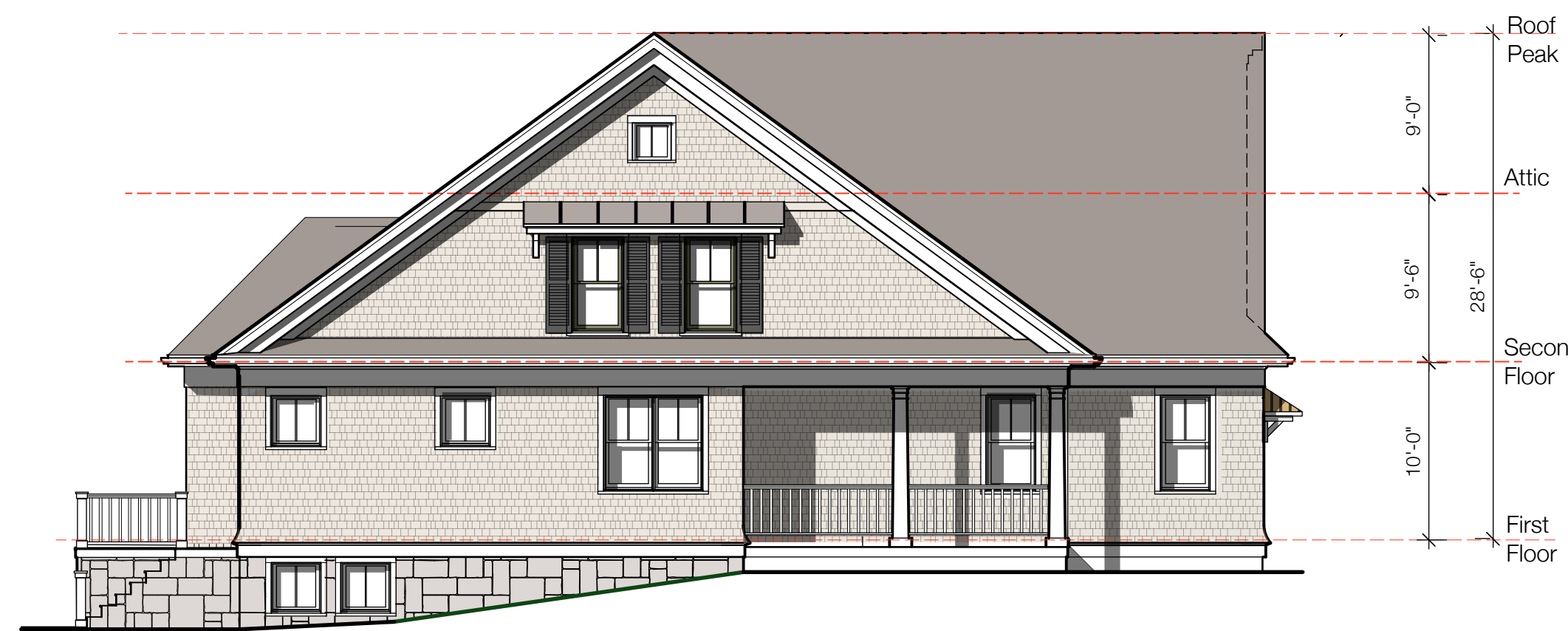
CONSTRUCTION NOTES:

TYPE A and C as SINGLE FAMILY Homes @ MANOR HOUSE

- 10" poured concrete foundation
- 2x6 exterior wall construction
- Hardi-shingle siding stained to compliment the Manor House
- pvc standing and running trim
- clad wood double hung windows with simulated divided lights, low E, insulated glass
- 3-tab asphalt 25 year shingles to match color of Manor house, with standing seam roof accents
- composite porch decking and railing system
- aluminum half-round gutters and round downspouts
- insulated fiberglass ThermoTru Classic entry door
- carriage house style overhead garage doors



Front Elevation adjacent to Manor House



Side Elevation at Manor House

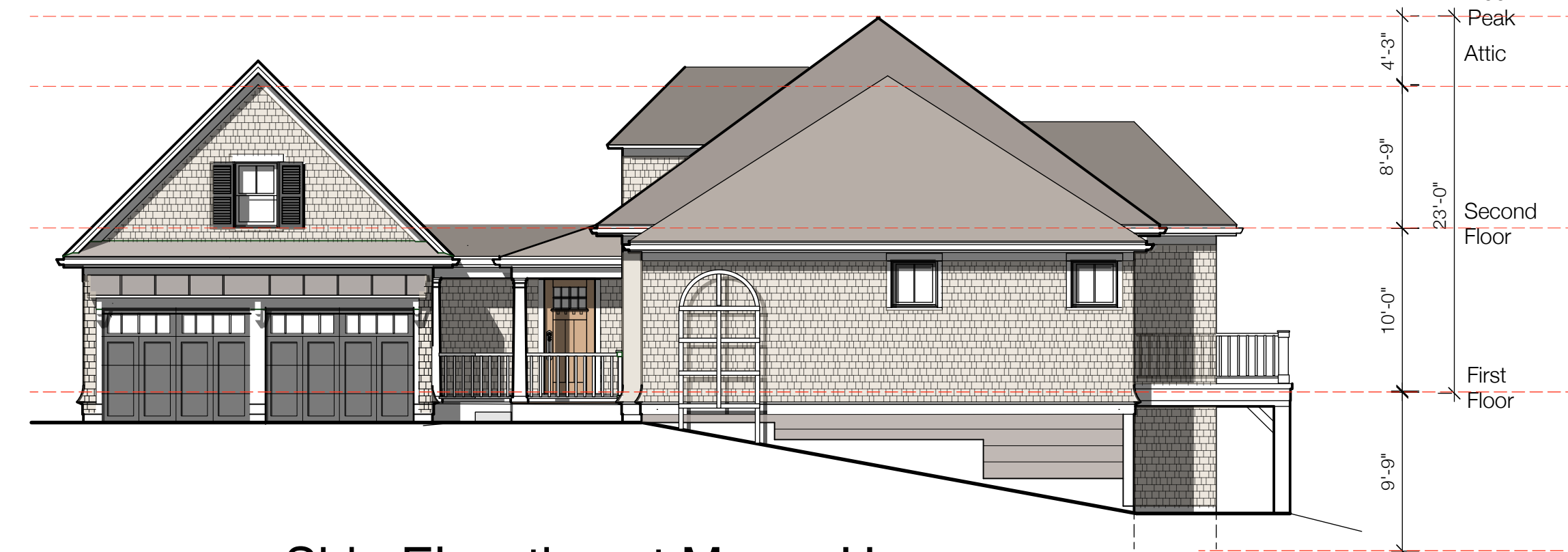


Rear Elevation facing Meadow

Unit Type C



Front Elevation adjacent to Manor House



Side Elevation at Manor House



Rear Elevation facing Manor House

Unit Type A

SECTION 01000
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MILTON, MA

Unit Type A and C at the
Manor House Cluster

Scale: 1/8" = 1'-0"
Date: 1.24.19



UPPER MEADOW
ILLUTRATIVE SITE PLAN



UPPER MEADOW
ILLUTRATIVE SITE PLAN

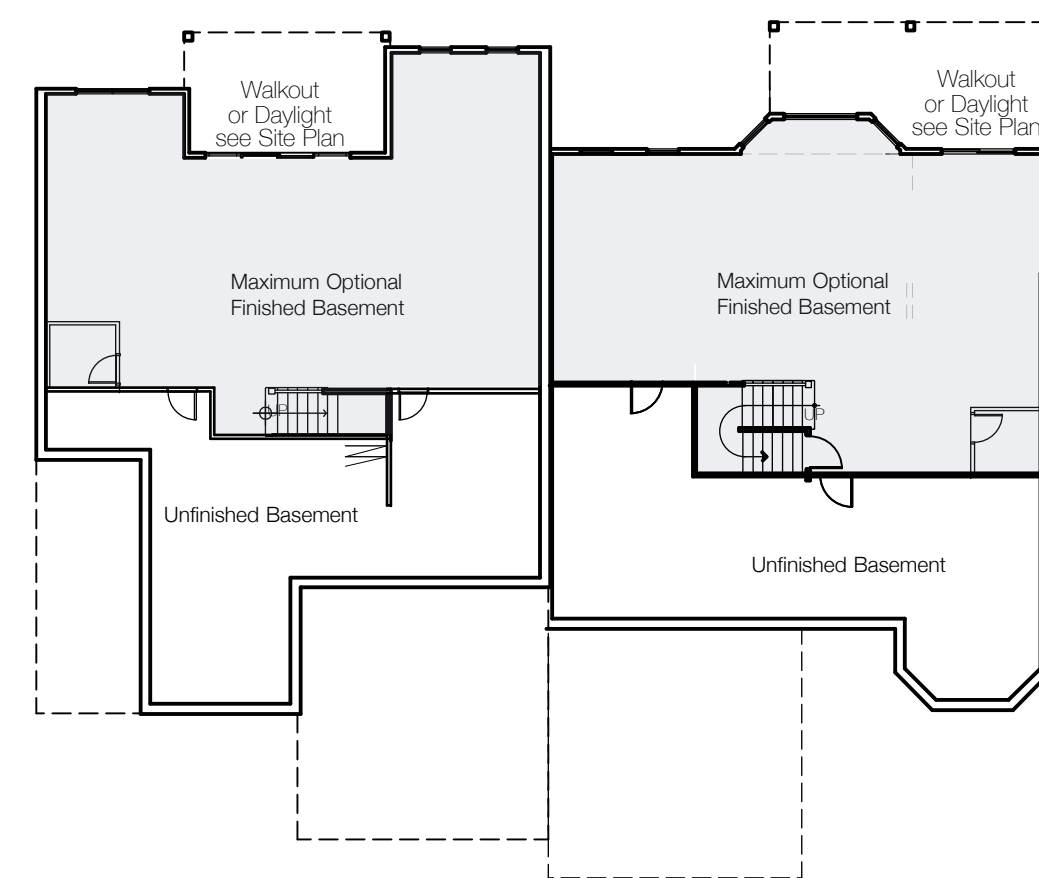
UPPPER MEADOW AND VARIOUS WOODED AREAS DESIGN GOAL

The concept is to create homes with Type **D** and **B** units with somewhat lower visual impact along the new road particularly in wooded areas. And to utilize stone veneer materials below the first floor in locations, such as the UPPER MEADOW at bldg 12 where the lower level is visible. In most locations the lower level faces wooded areas and as such is not a predominate image. The goal is to allow the natural vegetation and topography to be the focus of the experience. The palette of colors and textures will be inspired by these surroundings.

CONSTRUCTION NOTES:

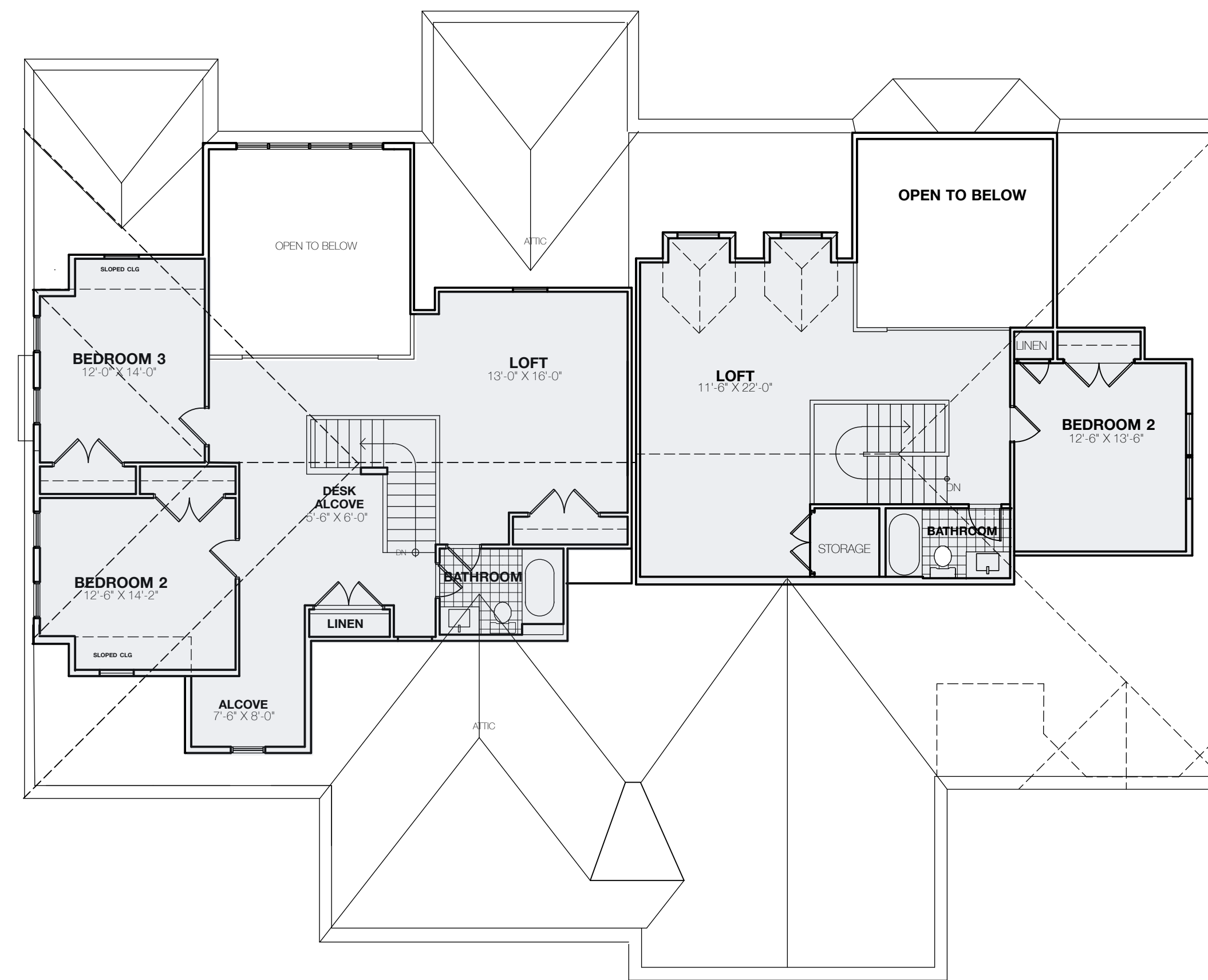
UNIT TYPE **B** and **D** VARIOUS WOODED LOCATIONS

- 10" poured concrete foundation
- 2x6 exterior wall construction
- fiber cement clapboard, board and batten and shingle siding stained to blend with the adjacent woods
- 6" pvc corner boards, standing and running trim
- clad wood double hung windows with simulated divided lights, low E, insulated glass
- 3-tab asphalt 25 year shingles to match color of historic homes, with standing seam roof accents
- composite porch decking and railing system
- aluminum half-round gutters and round downspouts
- insulated fiberglass ThermaTru Classic entry door
- carriage house style overhead garage doors

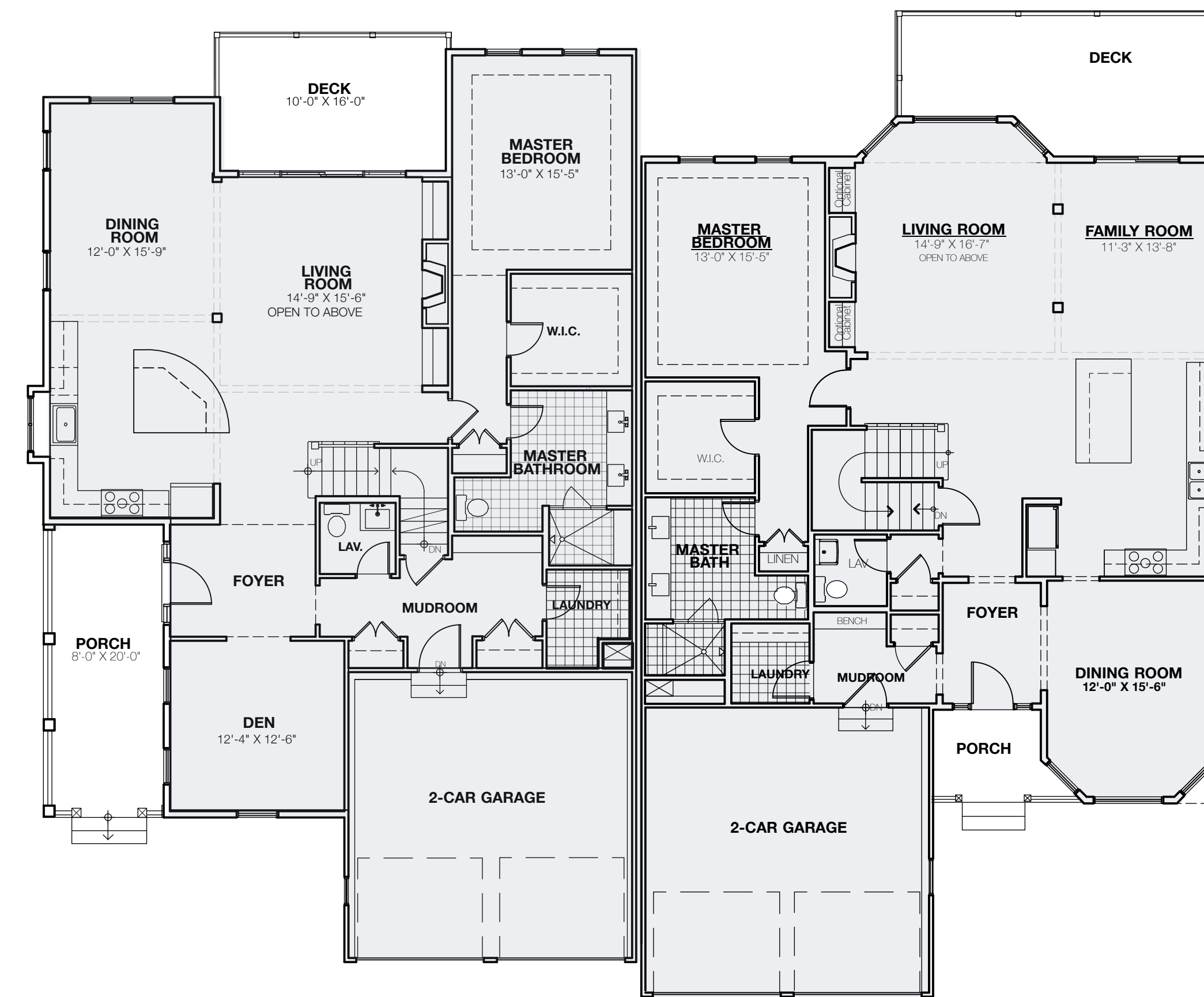


Basement

Unit Type D Unit Type B



Second Floor with Hip Roof



First Floor

Unit Type D THREE BEDROOM

FIRST FLOOR AREA	1705 SF
SECOND FLOOR AREA	1000
TOTAL	2705 SF
finished basement not to exceed	895
(MAX ALLOWABLE LIVABLE FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3600 SF)	

Unit Type B TWO and THREE BEDROOM

	2 BR	3 BR
FIRST FLOOR AREA	1700 SF	1700
SECOND FLOOR AREA	700	850
TOTAL	2400 SF	2550
finished basement not to exceed	1200	1050
(MAX ALLOWABLE LIVABLE FLOOR AREA, INCLUDING POTENTIAL BASEMENT NOT TO EXCEED 3600 SF)		

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MILTON, MA

Unit Type D and B
Various Upper Locations

Scale: 1/8" = 1'-0"
Date: 1.24.19



Unit Type B

BLDGS 9,23,27

Unit Type B



Unit Type D

Unit Type B

Roof Peak
9'-0"
Attic
9'-6"
28'-6"
Second Floor
10'-0"
First Floor
9'-9"



Unit Type D

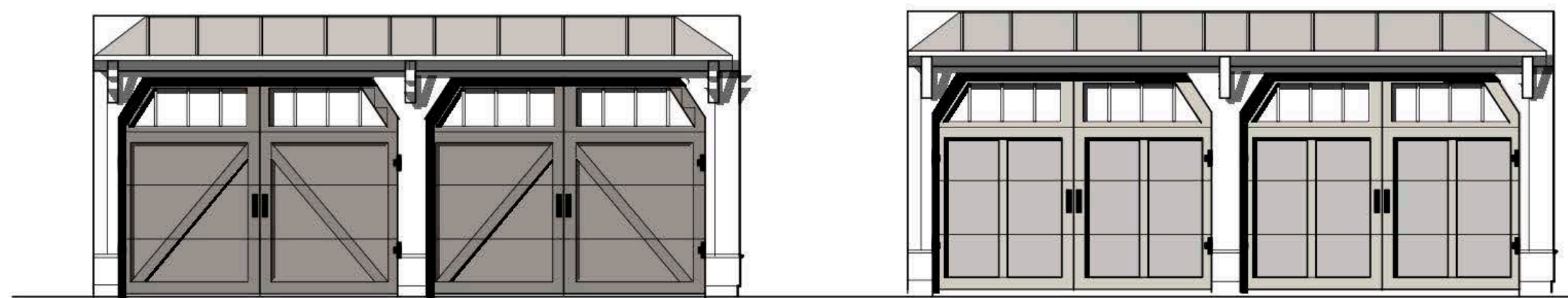
BLDG 21

Unit Type D



Unit Type D hip roof

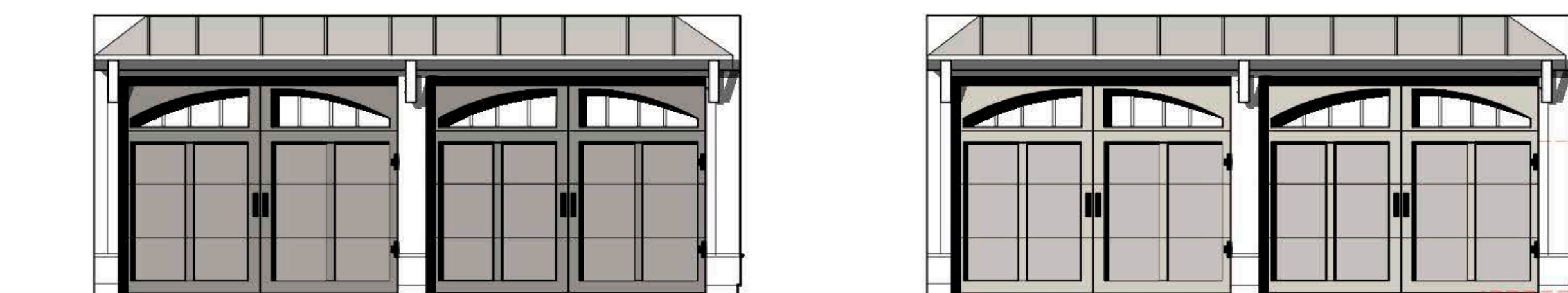
Roof Peak
9'-0"
Attic
9'-6"
28'-6"
Second Floor
10'-0"
First Floor
9'-9"



BARN TOP CARRIAGE STYLE

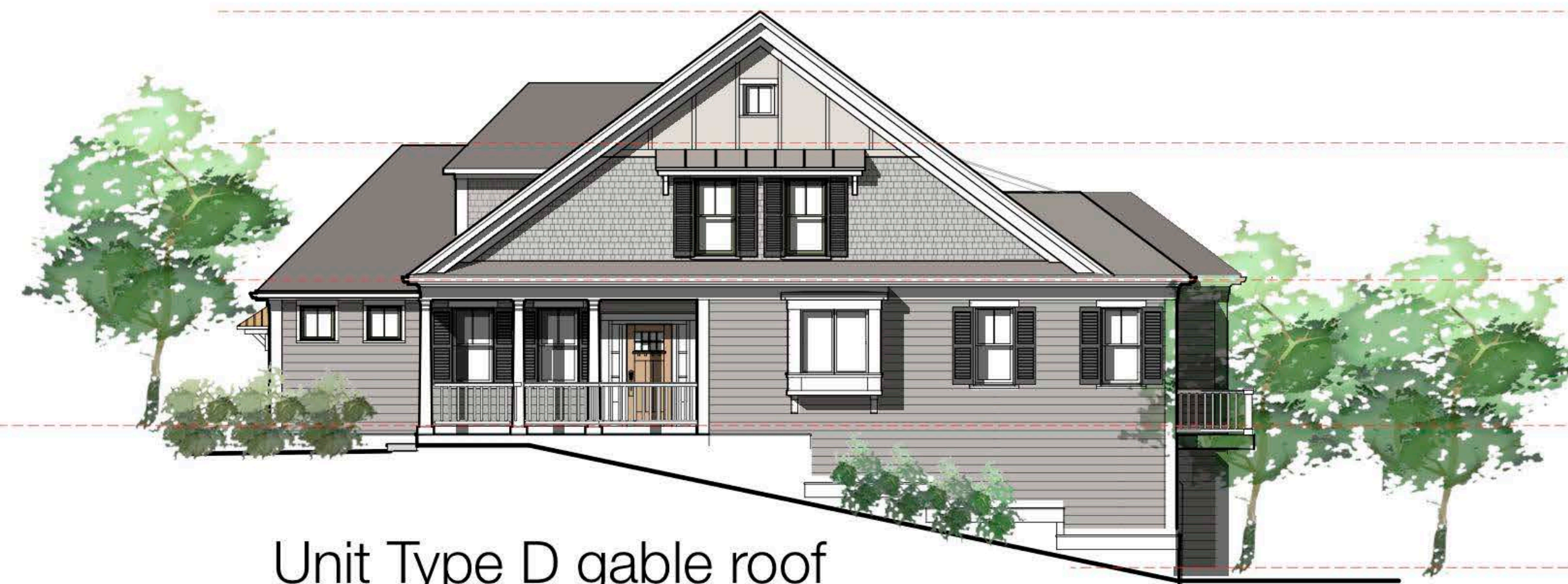


SQUARE TOP CARRIAGE STYLE



ARCH TOP CARRIAGE STYLE

Various Style and Color Garage Doors



Unit Type D gable roof

Roof Peak
9'-0"
Attic
9'-6"
28'-6"
Second Floor
10'-0"
First Floor
9'-9"



Unit Type B

Unit Type D

REAR ELEVATION AT BUILDING 12
UPPER MEADOW

Roof Peak
9'-0"
Attic
9'-6"
28'-6"
Second Floor
10'-0"
First Floor
9'-9"

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Unit Type B and D
DC, BB
and alternative garage door designs
Scale: 1/8" = 1'-0"
Date: 1.24.19

EYE-LEVEL AND AERIAL VIEWS OF TYPICAL ADJACENT GARAGES

EXAMPLES ILLUSTRATED ARE TYPE B AND C UNITS AT BUILDING 11



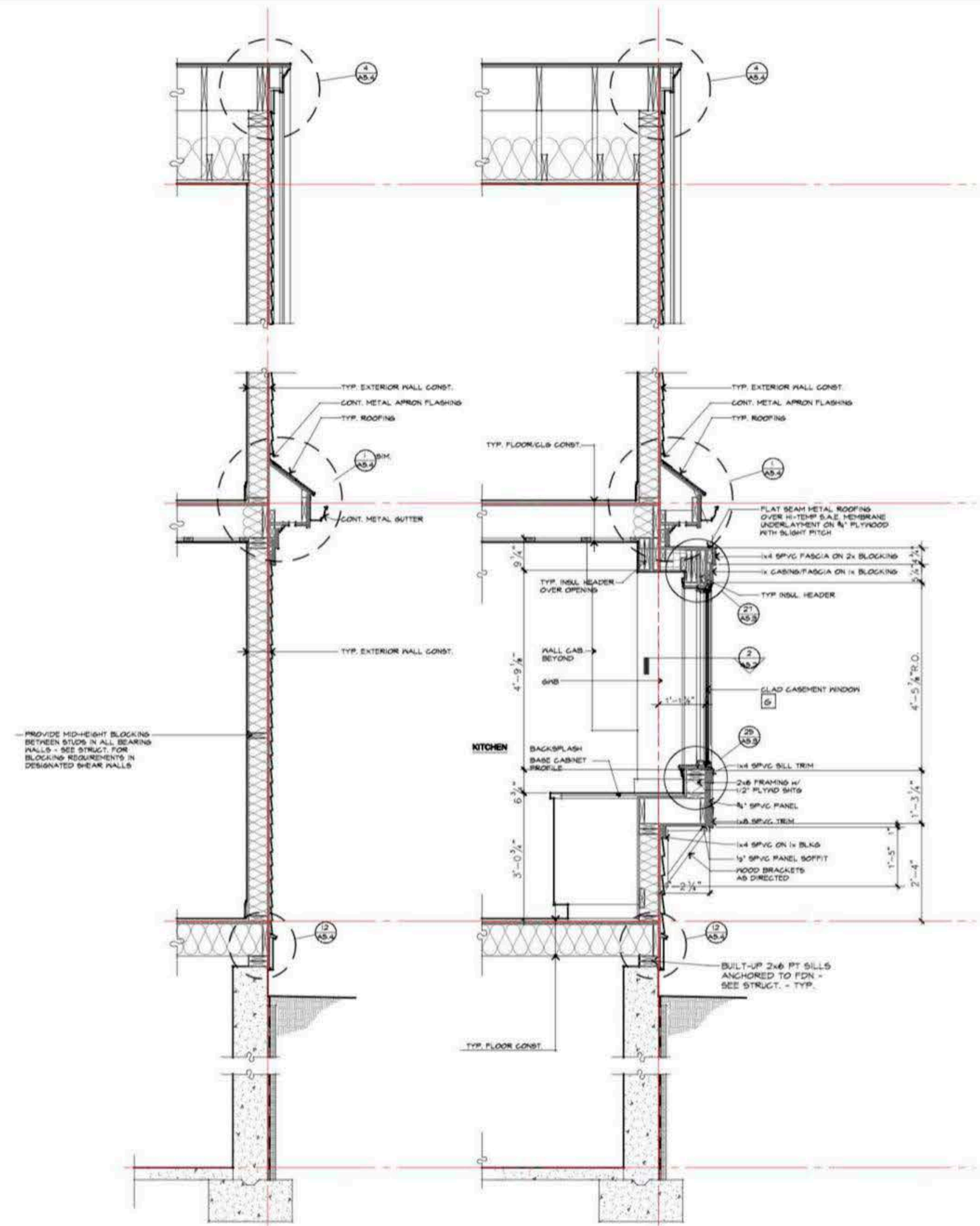
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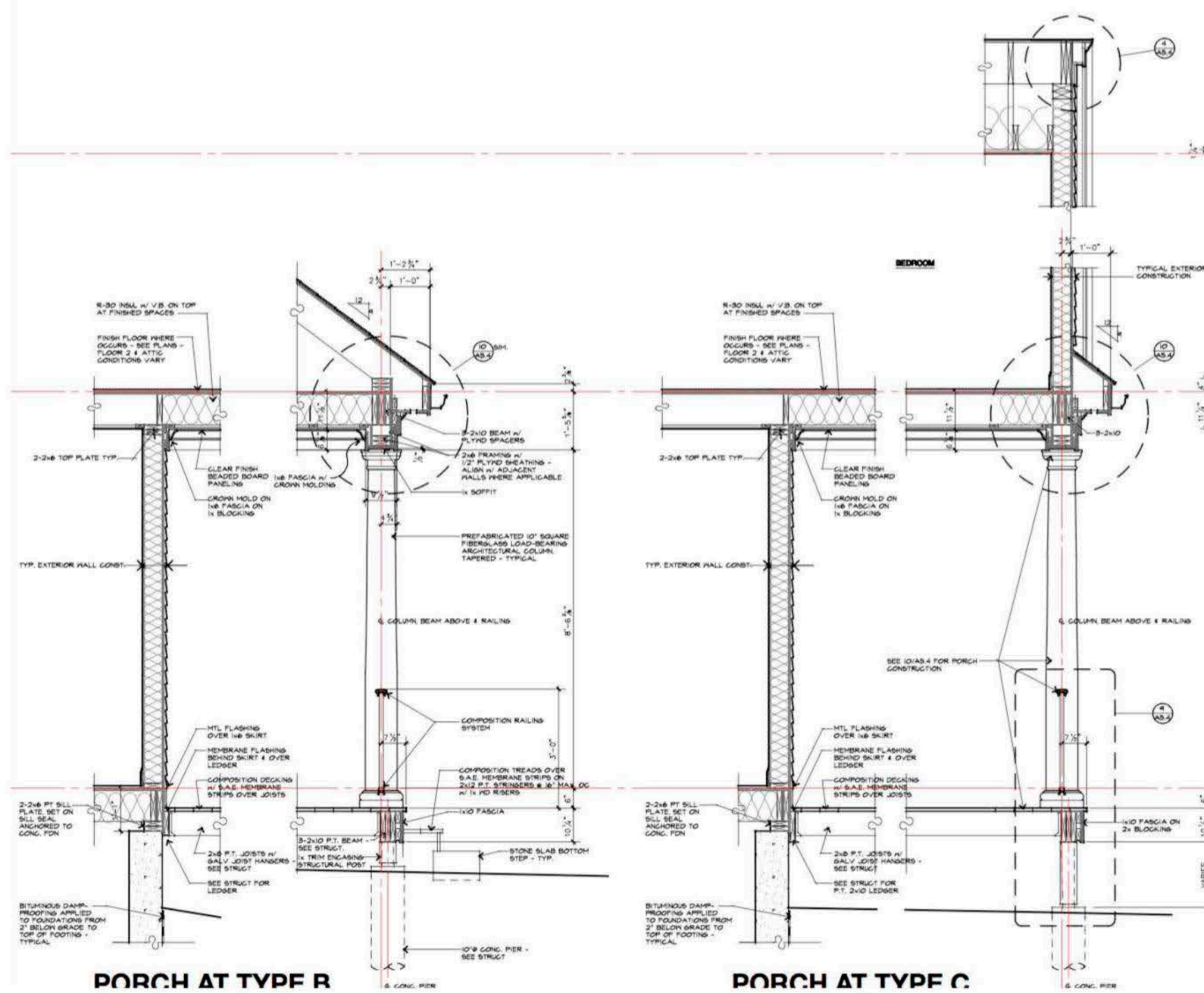
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 CANTON AVENUE
 MILTON, MA

Wolcott Woods
 Sketches of Adjacent Garages
 Scale: 1/4" = 1'-0"
 Date: 1.24.19



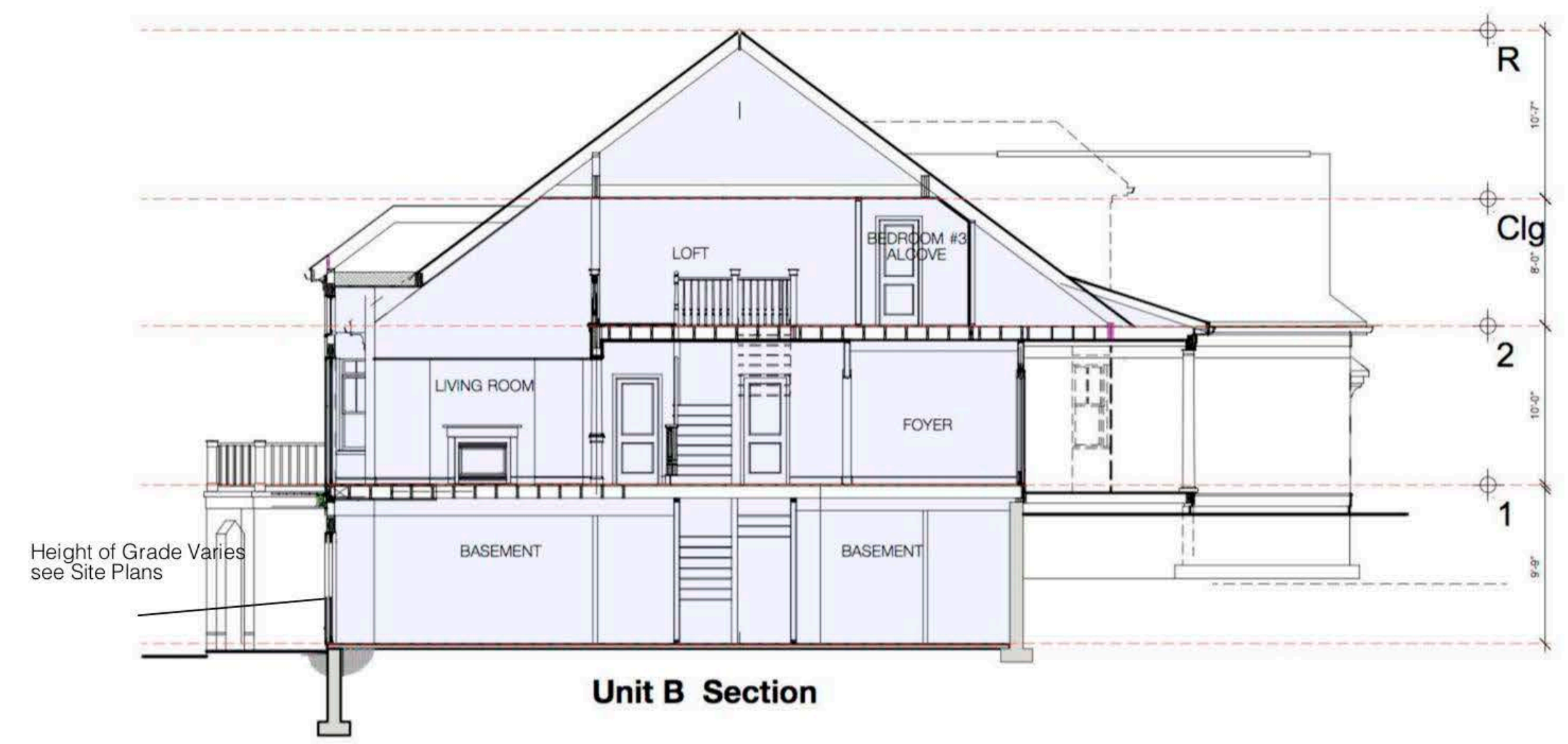
TYPICAL EXTERIOR WALL

EXTERIOR WALL@ KITCHEN WINDOW BAY

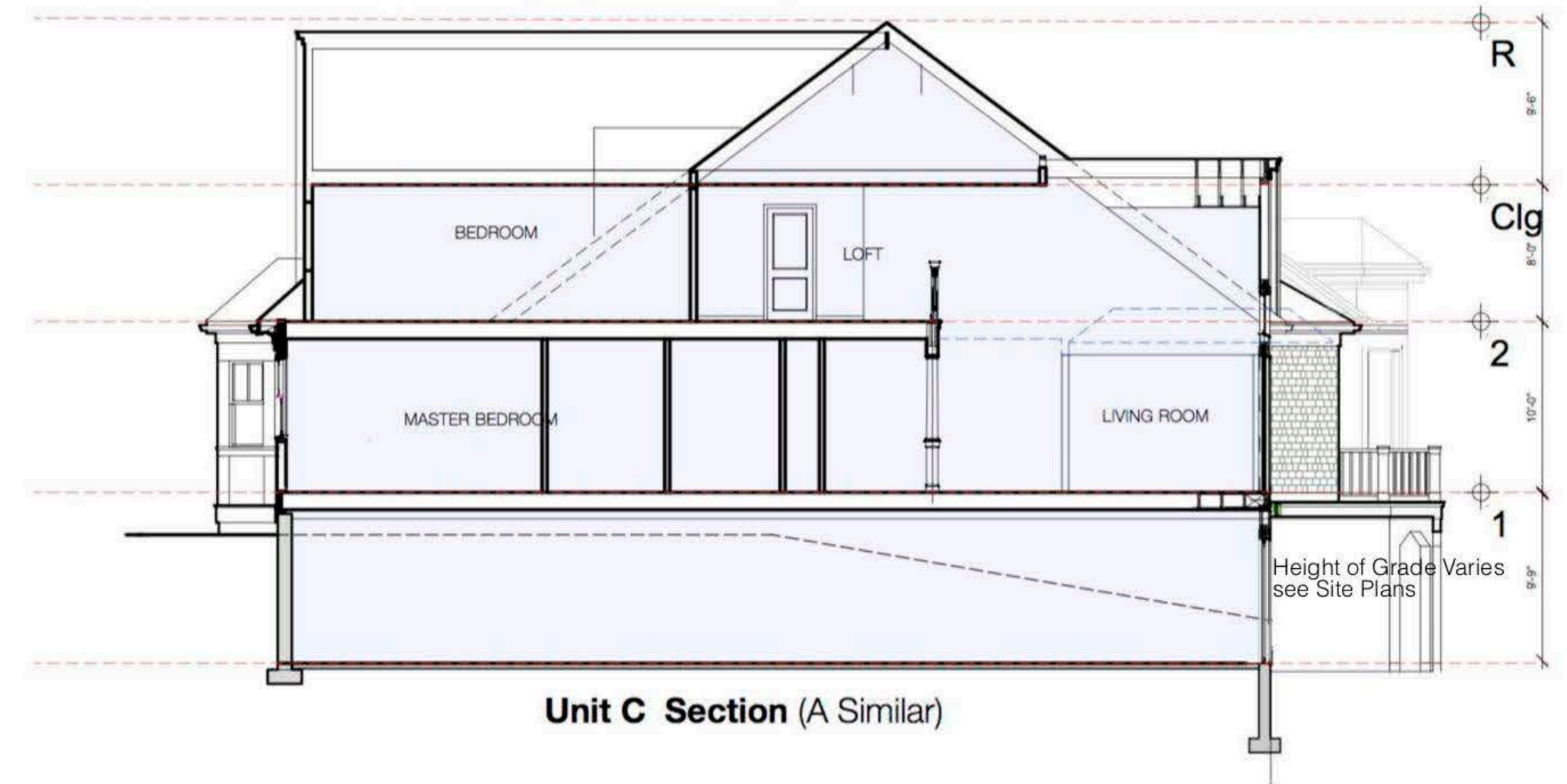


PORCH AT TYPE B

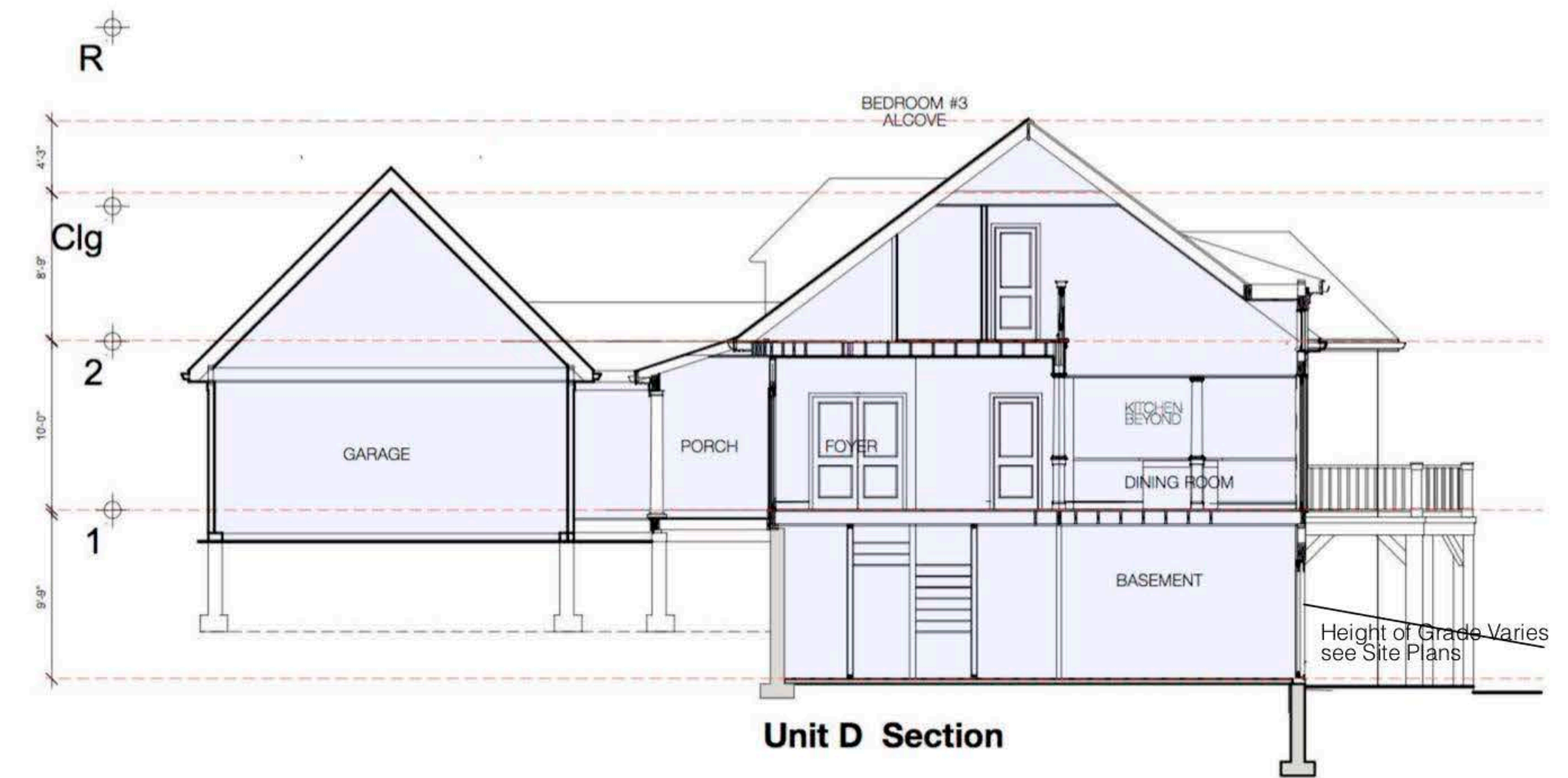
PORCH AT TYPE C



Unit B Section



Unit C Section (A Similar)



Unit D Section

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Building and Wall Sections

Scale: 1/8" = 1'-0"
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