

NRC Response – 2.11.19

Following the recent Concept Site Plan Presentation by Northland on Dec. 5th the Milton Historical Commission would add the following comments:

Stone Walls· Stone walls should be consistent throughout the property, including retaining walls and stone facade on new townhomes, and reflect the granite stone walls dominant on terrace and patio and steps of Manor House. There should be a sample mock-up of wall to ensure high quality materials will be used throughout. We would suggest rather than wood guard rails, that a stone-faced wall would be more attractive and historically appropriate. Retaining walls should be a maximum of 4 ft.

Response:

- The Existing walls on site include dry-stacked and mortared stone walls, brick-faced walls, and timber walls. It is unclear why the Manor House walls should be the ones singled out for replication throughout the site when site precedent is to employ a hierarchy of materials and methods.
- Existing walls will remain at the Manor House, Wolcott House, along the intermittent stream course, along Canton Ave, along with the remnant stacked stone walls found throughout the site.
- There are three new retaining wall applications across the site, which allow for and necessitate different treatments:
 - 2 @ the intermittent stream crossings
 - Edge of road retaining wall @ buildings 26-28 & Wolcott House
 - Unit specific landscape grade change walls
- At the intermittent stream crossings, think bridge like condition, a structural retaining wall, which embraces the road crossing and culvert below is required. As this face is not visible from the street, we proposed to use a stone faced manufactured interlocking structural block wall to satisfy the structural and culverting requirements of the crossings. Use of a rock faced interlocking large block wall provides the necessary long term structural support to support the roadway and associated underground infrastructure at each respective crossing. We have used this approach in a similar application at our Belmont project with great success and found that the weathering of the rock faces allows the retaining wall to disappear into the forest palette – see attached Slide #42.
- At the edge of road and unit specific landscape grade change condition, we propose using the ‘weathered finished Four-Unit Versa-Lock product – see attached Slides # 36 & 48
- At Wolcott house the wall will be brick faces in keeping with the existing retaining wall to the rear of the house.

New stone entrance to Manor House should mirror existing entrance, materials, height and scale and stonework, including repainting should be done by someone experienced in repairing and replacement of historic stone walls. Location and size of the entrance opening should be marked and approved by the Planning Board and MHC prior to removal of the existing stone wall.

Response:

- The location and size of the new opening @ Canton Ave is depicted on Slide #25.
- The new Wolcott Woods Lane entrance will require the cutting in of a new 34’ opening within the existing wall. The removed stone material will be stockpiled in order to create a new flared stone wall entry terminated by capped stone pillar – see attached Slide 25, details # 5,6 & 7.
- The remaining stone material will be used to connect (fill in) the stonewalls at the abandoned and filled-in existing 37’ wide middle entrance drive opening – see Slide #24.

Fencing - Split rail fence in natural wood finish, which has recently been removed along the meadow and Devens House drive, should be replaced in its original location and staked to mark its original location as best possible, prior to initial construction in order to retain the property's original agricultural character.

Response:

- The present plan set provides for a wooden 3 rail split rail fence extending from the new entry stone pillars along both sides of the new entry road to the mail-box building parking area on the right and to the access driveway of unit # and along the Canton Avenue side of the open drainage basin – see Slides #41, 40 & 30 for fence detail.

Scenic Roadways - No touch buffer should be a no touch, non-disturb per the by-law. This must be protected in order to maintain the scenic roadway. The pervious path should be placed at the inside the buffer so trees and new saplings in understory do not have to be removed.

Response:

- The Bylaw provides for a 75' '*No Disturbance Zone*', which '*shall be suitably maintained in (its) natural condition or landscaped as....provided*' As permitted, by Section 11 of the Bylaw '*a permeable path(s), shall be permitted in No Disturbance Zones*'. The Canton Ave permeable path has been routed along and within the 75' Canton Ave No Disturbance Zone, utilizing an existing farm pathway paralleling Canton Ave.

We cannot have another example of Woodmere, who had agreed to maintain a wooded buffer on the wood lot.

Minimize paving by narrowing the new entrance roadway per recommended standards for a Rural Local Street to 10 ft lanes and remove paved sidewalk along new entrance as this is unnecessary and most likely will not be used. By doing these two items, the property will best maintain current historic landscape views. The circular path will provide access down current drive, which will no longer allow cars and cross over to existing drive up to Devens House and follow path back up to rear of property. Where would anyone walk to using this central sidewalk? All non-residents accessing the Blue Hills would use the existing drive which will be non-vehicular and most safe. Minimal or no beams should be allowed as viewed on most historic estate drives, i.e. Neighboring Eustis Estate.

- This recommendation does not comply with Section 14 (a) or (b) or the Zoning Bylaw.

New paths and sidewalks should be pervious per the great estate bylaw and be sensitive in design to the natural and historical landscape.

- The Canton Ave sidewalk has been and is proposed as a permeable pathway. New roadway sidewalks are designed in accordance with the Section 14 (a) & (b) of the Bylaw and in compliance with the Town's Subdivision Road Design Rules and Regulations.

Landscape – The front lawn of Manor House and Meadow should be fenced during construction and no cut of fill to be made in these. This should be the case for upper fields and tree groves to be preserved. A peer review by a naturalist to identify all significant trees. An alley of trees at drive entrance should be created to preserve the Great Estate entry.

Response:

- No construction activity is proposed within the Manor House Lawn area.
- The KC Farm Meadow area will be impacted by the construction of the new roadway and associated drainage improvements. Finished, post construction grades, are designed to match/comport with existing ‘original’ grade profiles – Consult Sections in Engineering Plans.
- The Development Team includes Tree Specialists Inc., a certified arborist, who in concert with the Developer, Jack Dawley, its engineer, Deb Keller, and Landscape Architect, Alan Aukeman, repeatedly walked, surveyed and recorded all significant ‘at risk’ trees or groves of trees. The proposed site plan incorporates this work, data and a sensitivity to and of the landscape in it’s the development. The Tree Preservation and Protection Plan and Open Space Plan have been shared with and reviewed by the Shade Tree Advisory Committee as required by the Bylaw – See Slide # 6.
- See Slides #13 &14

Lamp posts – Proposed lower height lighting proposed by develop is recommended to minimize light viewed from Canton Ave to 128.

Response:

- The application, *as submitted*, proposes a 12’ street light height – See Slides # 47 & 48.

Retention basins – Should not be place within the no-touch buffer zone and should be paced in the location where natural basin currently exists below the meadow and designed such that a splits rail and vinyl chain link fence is not necessary, significantly altering the historic and scenic Landscape. This should be done by an independent engineer aware of such topographical contours and seeking to utilize existing conditions and minimize cut and fill proposed in open spaces preserving the historic landscape.

Response:

- A drainage basin is required to manage stormwater from the new entry road up through the mail station. The basin, as designed, comports with the bylaw and it is located in an existing low topographic depression behind the stone landscape wall boarding Canton Ave – See Slides 39. The split rail fence was a request of the Planning Board in conjunction with a request to extend the Canton Ave walking path along the entire frontage – See Slide #30.
- An independent engineer, retained by the Planning Board, has conducted a full review (*and has signed off*) of the Project’s storm water (drainage) design, inclusive of the placement of drainage improvements and their compatibility with existing topographical contours.

Signage – Signage at entrance should be appropriate for a historic property and setting, and subject to design review by the planning Board and MHC.

Response:

- Entry signage is depicted on Slide #25

Architecture:

Manor House – Maintain the architectural applique detail on peaks of dormers, maintain over window architectural molding arches (currently painted purple), existing crown moldings, cross pane mullions remain or replicated, iron gate entry emphasis on retaining and lattice to remain as well as stain glass winnows on rear turret. We would not limit the deck material to Trex, but rather suggest wood. Trex can be very slippery and many homeowners no longer selecting for deck finish. Also, not historically consistent with the building.

Response:

- No changes to the exterior detailing of the building have been proposed.
- Composite deck material is a widely used and accepted exterior decking material. Per the HC 9.28.19 letter to the Planning Board, section A(1)(d) *The existing front porch/patio shall be repaired and or replaced with composite decking materials to mirror the existing materials.*

Wolcott – Ensure that dental molding retained in all locations of roof detail.

- No changes to the exterior of detailing of the building have been proposed.

NEW Townhomes – The windows currently shown on new townhouses have walls in many locations featuring solid flat walls with two tiny windows at overhead height. We question if this is allowed in the by-law for proper design.

- When considered in isolation, we understand that this may be the take-away reaction. The use of this facade treatment is few in number, is appropriately utilized for functional – bath privacy or bedroom furnishing purposes and purposeful from a land planning unit layout perspective. The elevation, floor plan and site plan exhibits provided must be considered in whole rather than in part.

To add dimension and be architecturally consistent with a shingle style residence, a kick-out or splay of the lower level shingles should be added as viewed on the Manor House.

- We agree. This architectural detail was already incorporated into the design – please consult architectural materials.

Please refer to the Town’s Planning Board Website under Dec. 5 Concept Site Plan to review proposed architecture.

Carriage House – Retain and preserve.

- To be reviewed and discussed at meeting.

All replacement shutters should be in proper proportion.

- Agreed

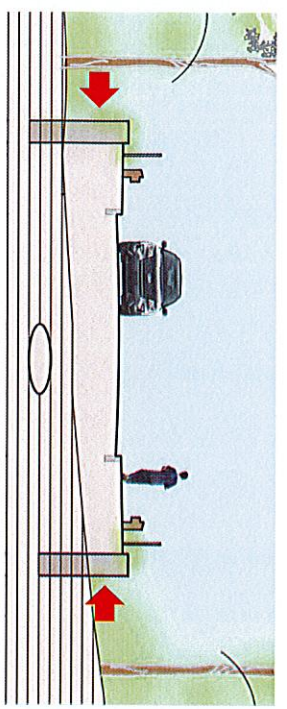
A peer review by a Historic Preservation specialist should be made to ensure construction plans conform with bylaw standards and encourage Northland to work with historic New England on Preservation Easement for exterior of historic structures.

- These buildings are not subject to a Secretary of Interior rehabilitation standard. While we can agree to the details associated with the retention, reuse and maintenance of the buildings with the Commission, we cannot accept the imposition of a broad National standard restoration standard when such is not required by law or warranted.
- We will not agree with the placement of Historic preservation agreements on the three to be retained and reused existing buildings. Prospective (future) changes to the buildings can be prohibited by the condominium Master Deed and Special Permit Condition and/or require Planning Board and Historic Commission review and consent.

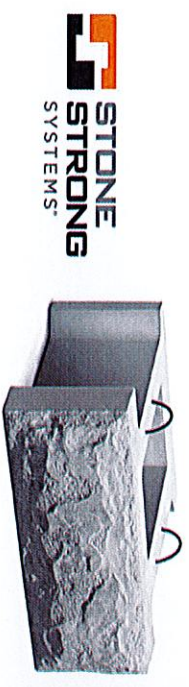
#42

Site Details –

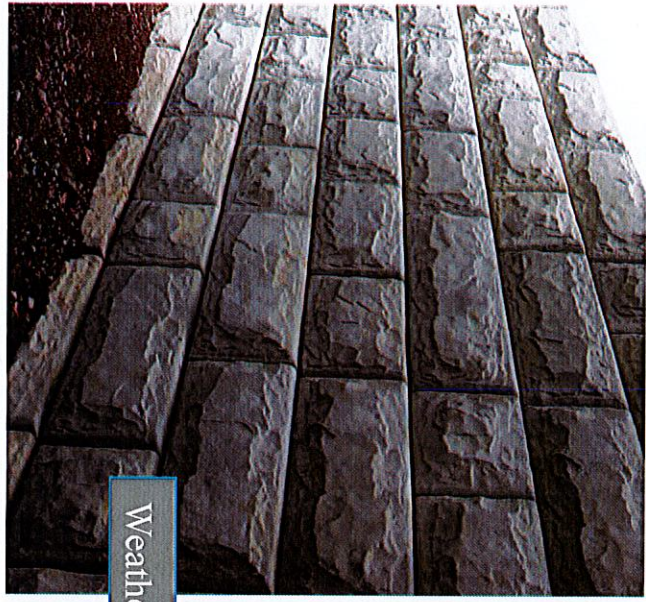
Intermittent Stream Crossings (2)



1. Curb: VGC
2. Walls: Pre-cast blocks with chiseled granite finish
3. Guardrail: 6x10 PT
4. Fence: Board Rail + Wire



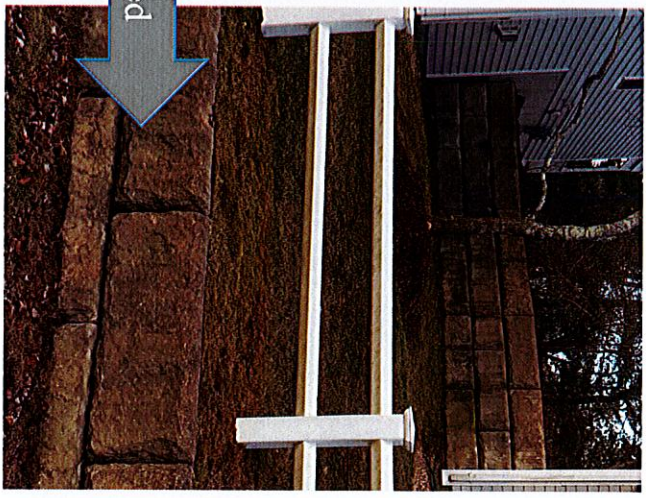
Board Fence



Weathered



Guardrail



Landscape – Details

- Manor House Cluster
- **Typical Units**
- Wolcott House
- Site Sections

Typical
Details



- Landscape Walls
- Paver Walks
- Street Trees
- Sidewalk
- Rail Fence
- Evergreen Tree
- Paver Border
- Ornamental Tree
- Foundation Planting



Landscape Walls



Rail Fence



Driveways: Paver Border



Paver Walks

#36

442

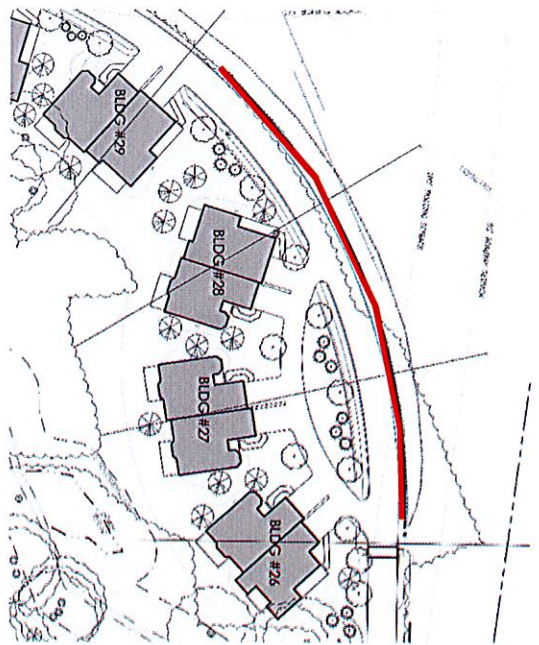
Site Details –

Landscape Walls

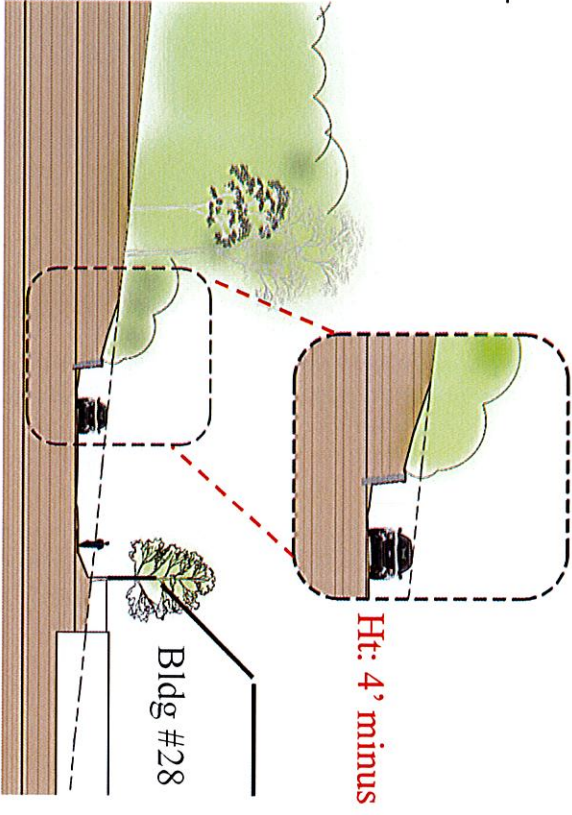
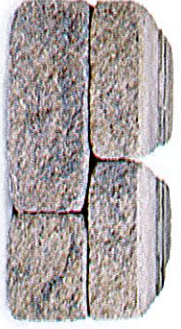
Planting



Northland Residential, Villages at Brookside

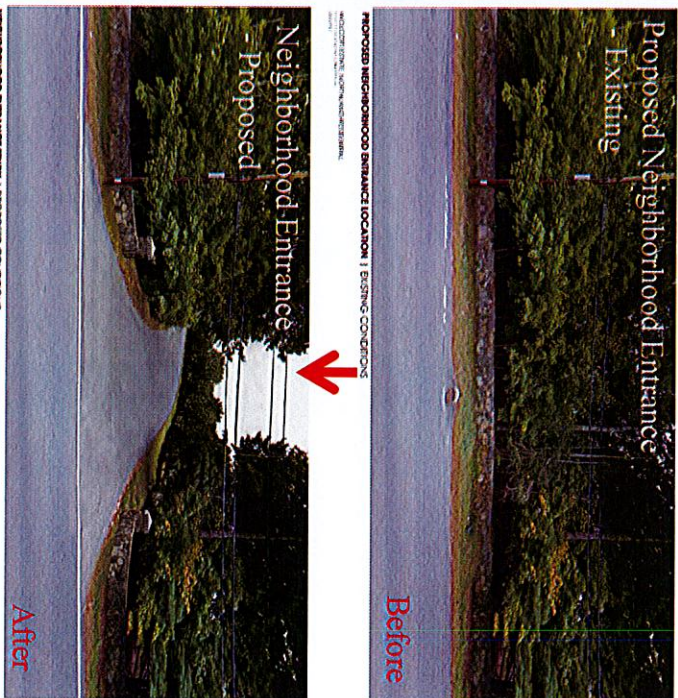
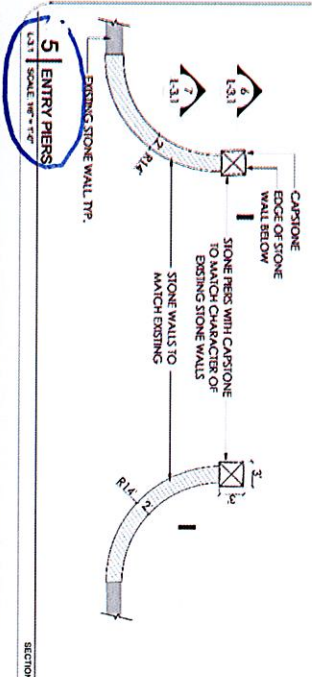
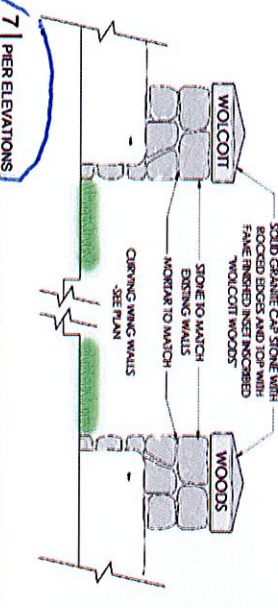
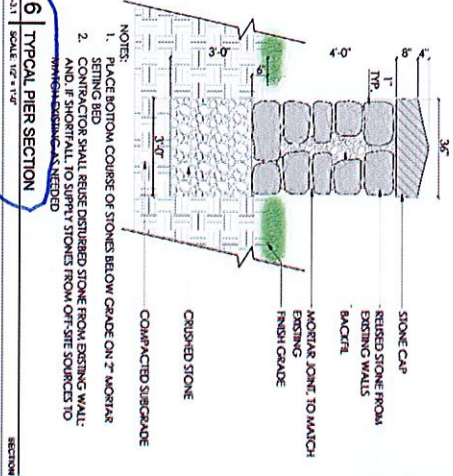
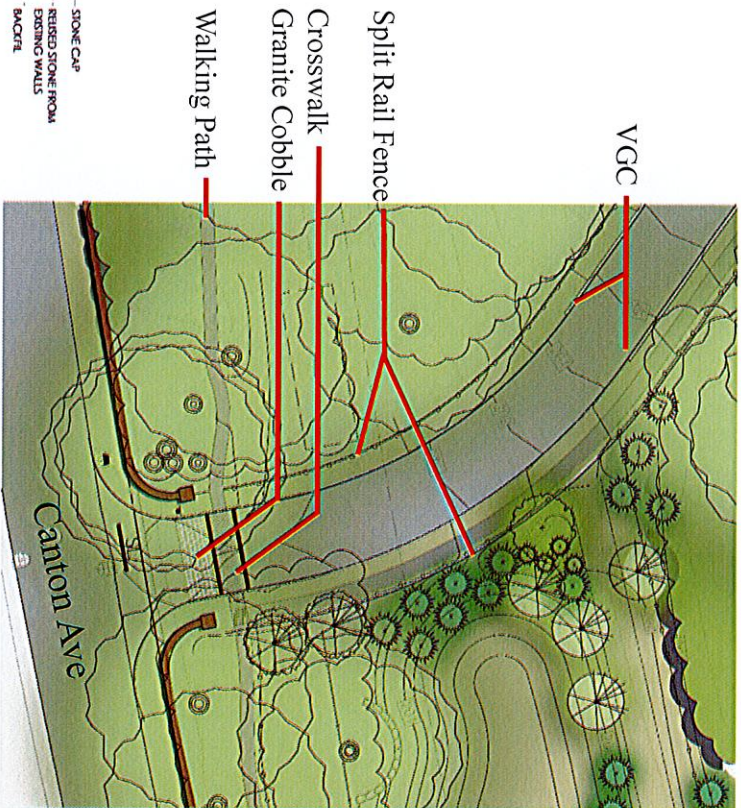


Four-Unit, Mosaic Wall System by Versa-Lok, Weathered



Landscape – Details

- Old Entrance
- **New Entrance**
- Infiltration Area
- Devens Cluster
- Devens Field

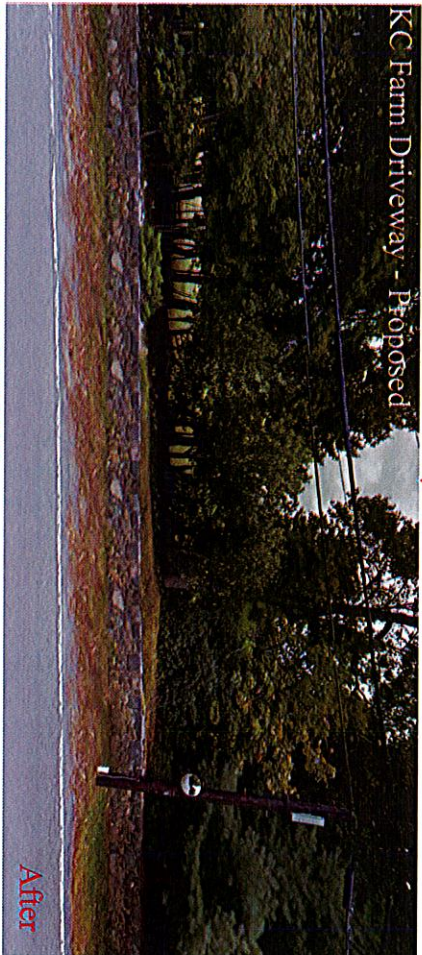
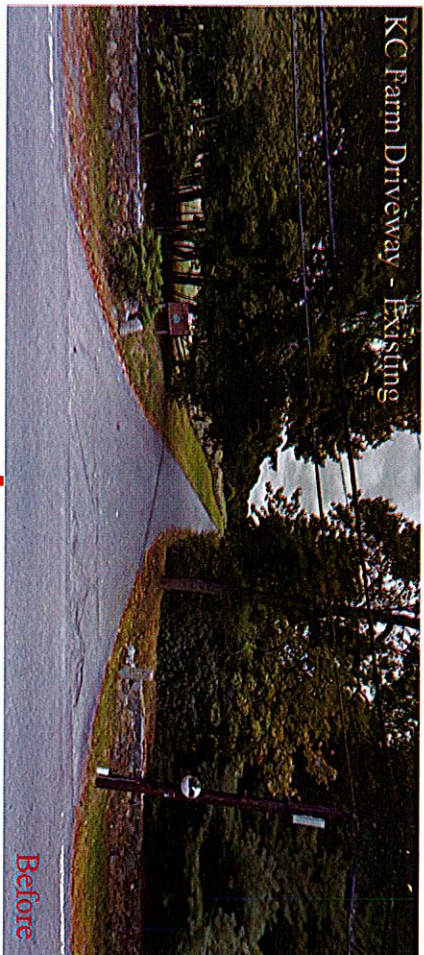
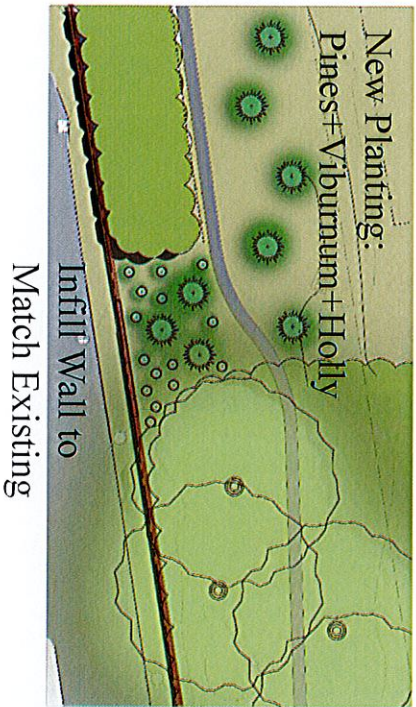


Wolcott Woods – Northland Residential – February 14, 2019

#25

Landscape – Details

- Old Entrance
- New Entrance
- Infiltration Area
- Devens Cluster
- Devens Field



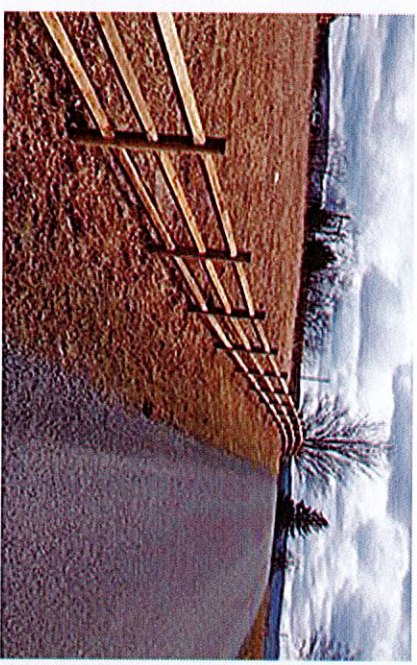
24

#41

Site Planning – Updates: Rail Fence



• Devens Field



• Proposed: Split Rail along roadway through Devens Field from entry to Mail Station



• Proposed: Diamond Rail along sidewalks in front of homes

Wolcott Woods – Northland Residential – January 24, 2019

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Site Planning – Updates: Meadow Basin Fence



- Proposed: Split Rail + Black Chain Link



- Devens Field



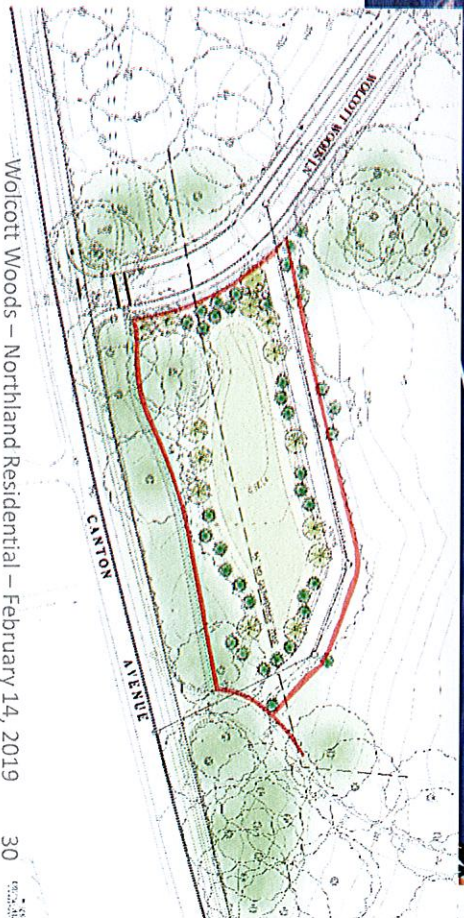
- (Northland, Burlington, MA)

Landscape – Details

- Old Entrance
- New Entrance
- Infiltration Area
 - Fence
- Devens Cluster
- Devens Field



- Proposed: Split Rail + Black Chain Link



Wolcott Woods – Northland Residential – February 14, 2019

430

Site Planning – Tree Preservation –

#6



Wolcott Woods –
 Northland Residential –
 – January 3, 2019 –
 6

<p>REVISIONS</p>	<p>KEY PLAN</p>	<p>DESIGNER: BR. AA/23/19W DECISION: BR. AA DATE: 01/03/19</p>	<p>RYAN ASSOCIATES LANDSCAPE ARCHITECTURE AND PLANNING 144 Moody Street, Building 4 Waltham, MA 02453-5332 ph: 781-314-0401 www.ryanassoc.com</p>	<p>TREE PRESERVATION WOLCOTT WOODS MILTON, MASSACHUSETTS</p> <p>PREPARED FOR: WOLCOTT RESIDENTIAL, LLC 80 BEHRELL STREET, SUITE E CONCORD, MASSACHUSETTS 01742</p>	<p>SCALE: 1"=40'-0"</p> <p>DATE: 01/31/2018</p> <p>JOB NO.:</p> <p>PROJECT REGION:</p> <p>TP</p> <p>SHEET</p>
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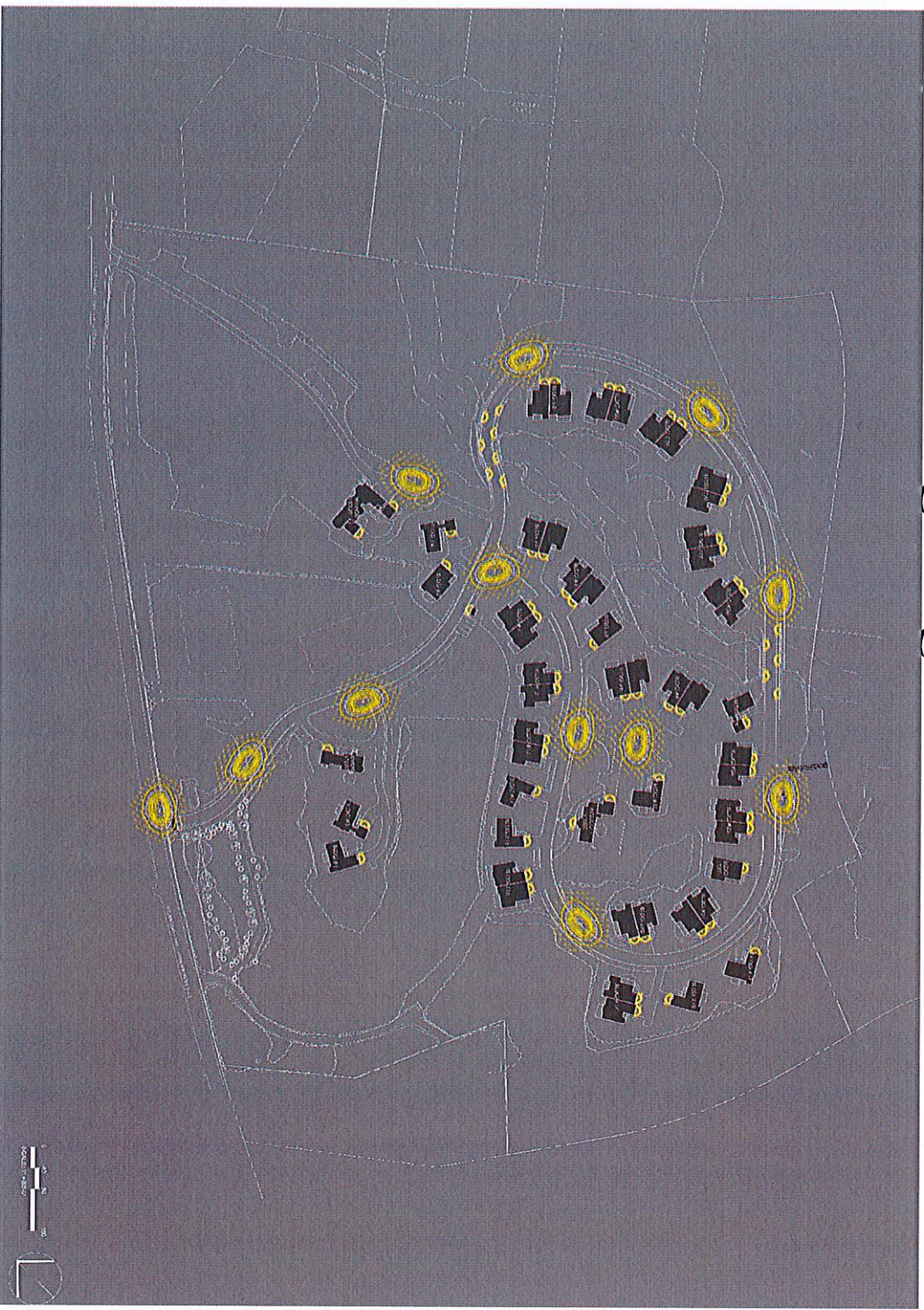
47

Site Planning – Updates: Site Lighting

Site Lighting:

- Existing Street Light on Canton Avenue at Entrance
- New Street Lights at Decision Points and for Safety – 11 Total (30" fixture on 10' pole)
- Houselights on common control to illuminate house numbers
- Low Level Guard Rail Mounted Lights at Crossings

Wolcott Woods –
Northland Residential –
- January 3, 2019 –
- 47



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Site Planning – Updates: Site Lighting

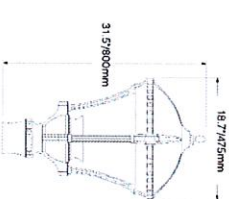
Providence® MicroCore™ – Medium Housing PROV | TYPE

FEATURES

- DLC Qualified
- Recessible, uniform, glare free illumination
- Types II, III, IV, V and custom
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- LifeShield™ thermal protection
- 13 standard powder coat finishes

SPECIFICATIONS

- Diameter: 18.2" / 475 mm
- Height: 31.5" / 800 mm
- Weight: 29 lbs
- EPC: 0.96
- IP Rating: 65



ORDERING INFORMATION



1. LIGHT ENGINE

- MicroCore Precision aimed optics
- T4-32LED
- T4-32LED
- T4-32LED
- T4-32LED

2. COLOR TEMPERATURE

- 3K
- 4K
- 5K

3. DRIVE CURRENT

- 700
- 450

4. COLOR

- ANI
- MIT
- DGN
- DBZ
- WRZ
- BRM
- VBL
- GRT
- LVT
- MDG
- ATG
- LYG
- PAL/PREMIUM COLOR
- BRM
- VBL

5. OPTIONS

- SPK (Speaker option)
- SPK (Speaker aimed lens)
- CLR (Clear aimed lens)
- CLR (Clear not aimed)
- HSS (Housing side strike)
- FRN (Front panel noise)
- EPA-C (Egress Contemporary)
- EPA-T (Egress Traditional)

6. CONTROL

- WH (Wired remote light in 4888 P/LI receiver and antenna)
- SCF (Programmable motion control, factory)
- SCF-C (25k, wireless push)
- DPX-C (Programmable motion control, factory)
- DPX-T (Programmable motion control, factory)

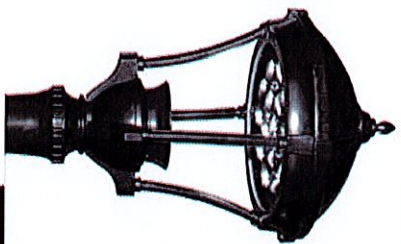
7. MOUNTING

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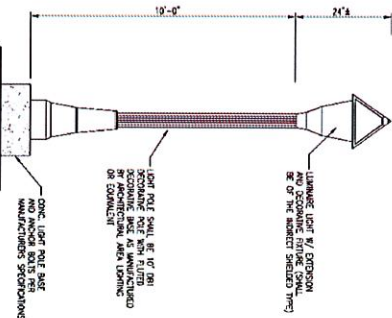
PROVIDENCE®

WITH MICROCORE™ LED TECHNOLOGY

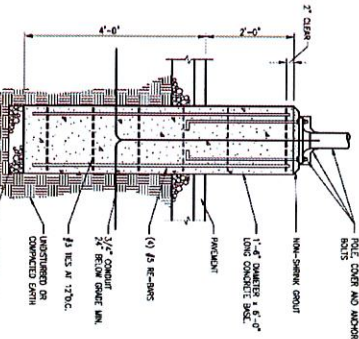
Customizable Unique modular design allows for complete customization
MicroCore™ LED Technology
 Powerful, uniform illumination with low glare



Typ Detail: C10.1



TYPICAL LIGHT POST DETAIL



LIGHT POLE FOUNDATION DETAIL

#39

Site Planning – Updates: Meadow Basin



- UPDATES:
- Softened Layout/Grading,
 - Improved Performance Specs,
 - Additional Tree Protection and Planting,
 - Reduced Buffer Impacts.

2/14

Landscape – Street Tree Layout

Street Trees:

Proposed Road:

3,800' = 152 +/- Trees Req'd

Street Trees Proposed:

Shade Trees:	59
Evergreens:	59
Ornamental:	17
Understory:	16
Shared Driveways:	20
<u>Total:</u>	<u>171</u>

Conditions Affecting

Planting/Spacing:

- Existing Trees
- Meadow



Landscape – Street Tree Layout

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Wolcott Woods –
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#13